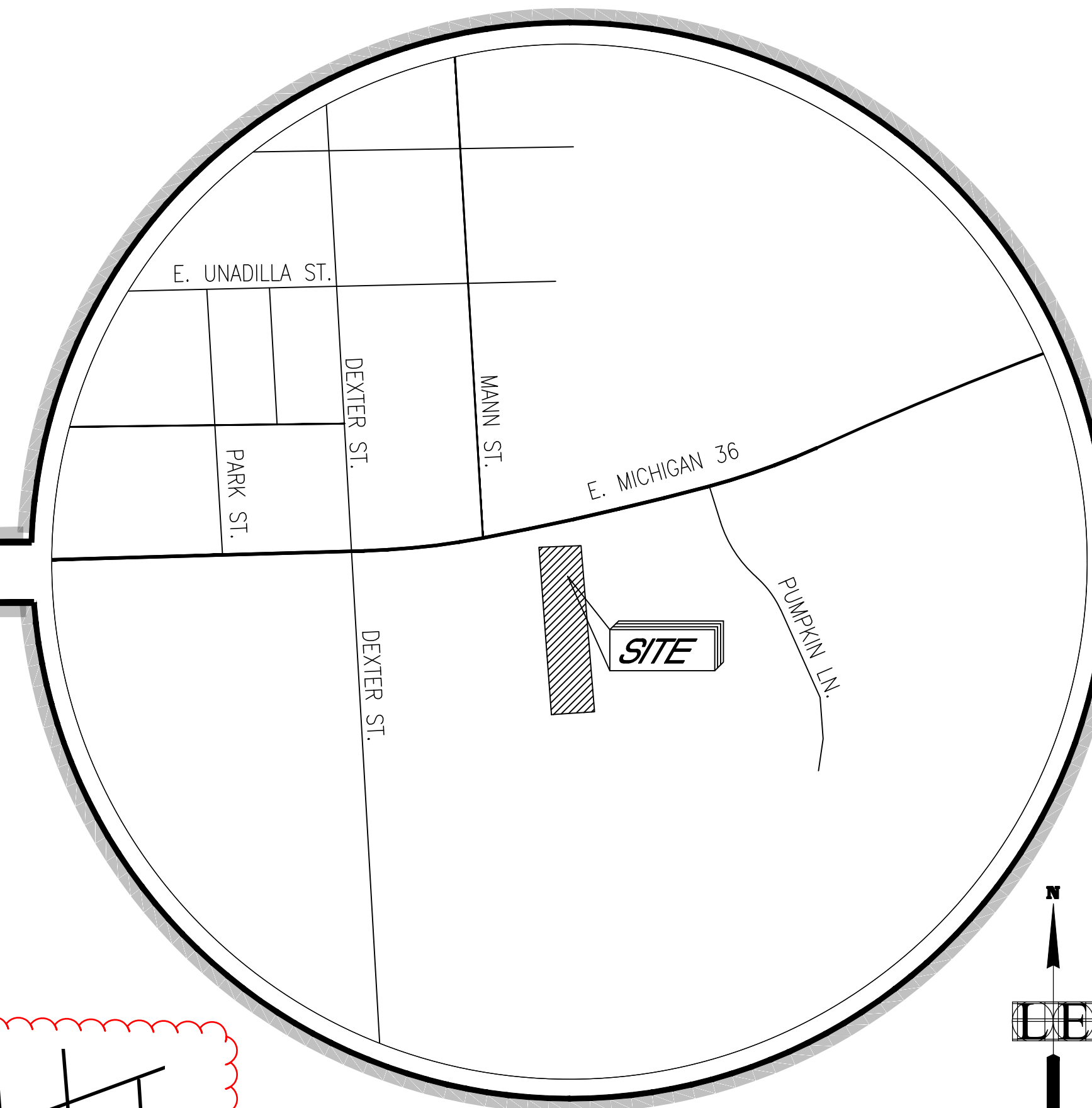


SITE PLAN FOR

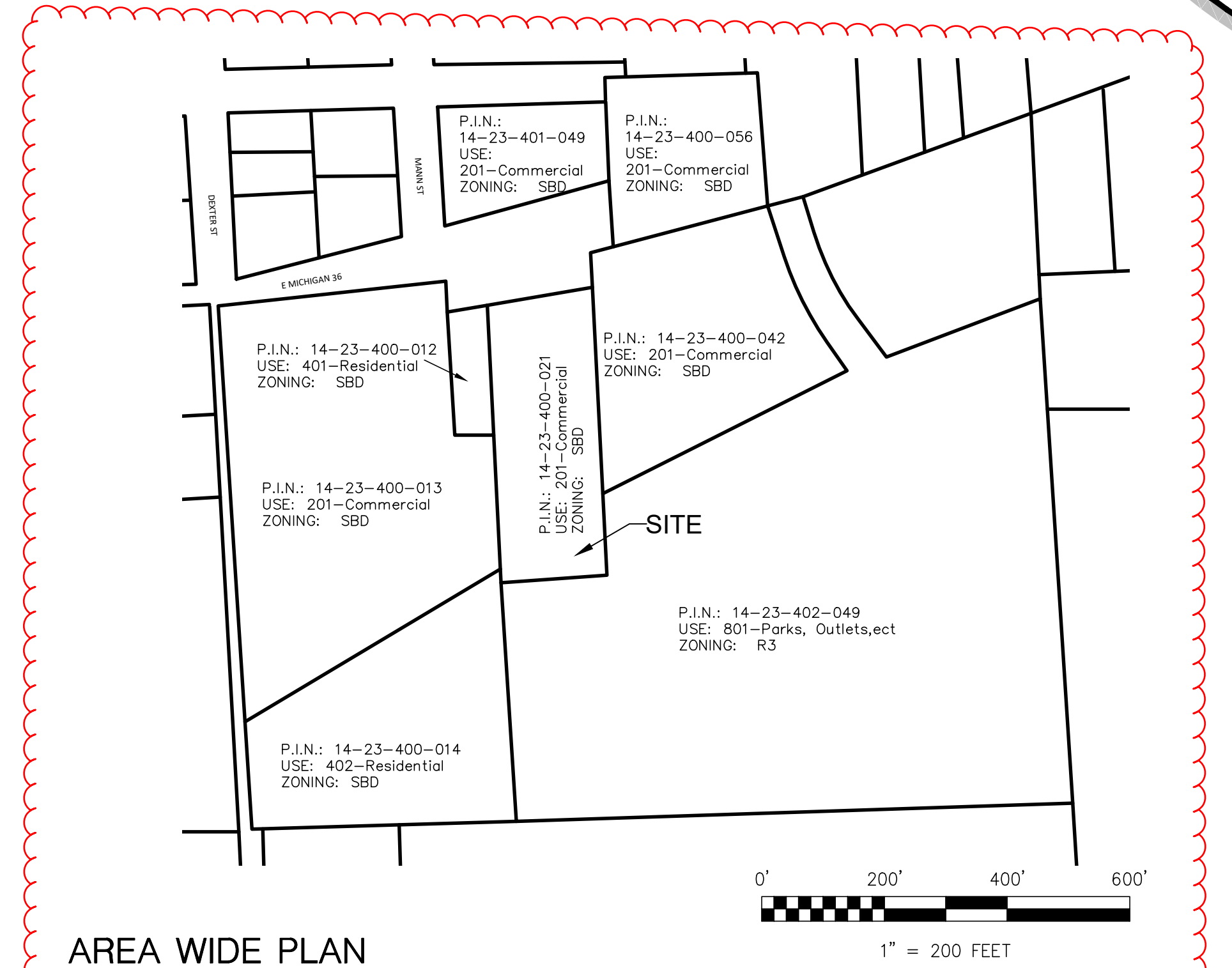
QPS MICHIGAN HOLDINGS LLC

1066 E M36

VILLAGE OF PINCKNEY, LIVINGSTON COUNTY, MICHIGAN



LOCATION MAP
1" = 300 FEET



AREA WIDE PLAN
SCALE: 1"=200'

SITE DATA & GENERAL NOTES

- Property is zoned: SBD, Secondary Business District
- Contractor is responsible for protecting all existing and proposed utilities from damage during all stages of construction.
- The engineer and applicable agency must approve, prior to construction, any alteration, or variance from these plans.
- Underground dry utilities shall be extended from existing locations to service this site as required by utility companies.
- Existing building is connected to public sewer and private existing well.
- All construction shall be performed in accordance with the current standards and specifications of Village of Pinckney Township and Livingston County.
- Three working days prior to any excavation, the Contractor shall telephone MISS DIG (800-482-7171) for the location of underground utilities and shall also notify representatives of other utilities located in the vicinity of the work. It shall be the Contractor's responsibility to verify and/or obtain any information necessary regarding the presence of underground utilities which might affect this job.
- Site plan use: Retail
- Site storm drainage will be serviced by proposed onsite detention pond.
- Trash to be placed in proposed dumpster for regular pickup service.

SITE DATA TABLE

	REQUIRED	PROVIDED
LOT AREA (GROSS)	5,000 SF. (min)	73,051 SF (1.68 AC)
LOT WIDTH	66 FT (min)	166 FT
LOT COVERAGE	50% MAX	3,946 SF/73,051 SF = 5.4%
BUILDING SETBACKS:	REQUIRED	PROVIDED
FRONT	25 FT	4.9 FT
SIDE (E)	15 FT	17.22 FT
SIDE (W)	20 FT	51.95 FT
REAR	20 FT	372.41 FT
BUILDING DATA:	REQUIRED	PROVIDED
TOTAL BUILDING ENVELOPE		3,946 SF
FLOORS	2.5 MAX	2
BUILDING HEIGHT	35 FT MAX	25'5" FT FRONT 38'3" FT REAR

PARKING CALCULATIONS

PARKING SPACE REQUIREMENTS PER ZONING ORDINANCE SEC. 152.283
RETAIL STORE
1.0 SPACES FOR EVERY 300SF OF GROSS FLOOR AREA

PROPOSED BUILDING GROSS FLOOR AREA: 7,638 SF

REQUIRED PARKING SPACES = 1.0 x 7,638/300 = 25.5 SPACES

PROPOSED PARKING SPACES = 34 SPACES
INCLUDING:
2 ADA COMPLIANT SPACES

SHEET INDEX

- COVER SHEET
- EXISTING CONDITIONS & REMOVALS PLAN
- SITE LAYOUT PLAN
- SITE GRADING AND STORM WATER MGMT PLAN
- SITE ACCESS PLAN
- LANDSCAPE PLAN
- PHOTOMETRIC PLAN

- ARCHITECTURAL**
- AO.1 RENDERING
 - AO.2 RENDERING
 - AO.3 CODE REVIEW AND LIFE SAFETY PLAN
 - A1.0 MAIN LEVEL PLAN
 - A1.1 STREET LEVEL PLAN
 - A4.0 ELEVATIONS
 - A4.1 SIGNAGE PLAN
 - SEC.1 SECURITY PLAN

LEGAL DESCRIPTION

LEGAL DESCRIPTION (Westcor Land Title Insurance Company, Commitment No. LB153579, Commitment Date: March 19, 2021)

Part of the West 1/2 of the Southeast 1/4 of Section 23, Town 1 North, Range 4 East, Village of Pinckney, Livingston County, Michigan, described as: Beginning at a point on the Southerly right of way line of M-36 Highway (100 feet wide) distant North 1 degree 12 minutes West along the North and South 1/4 line 1268.01 feet North 86 degrees 33 minutes East 178.97 feet and Easterly 250.33 feet along the arc of a curve concave to North, radius 3531.10 feet, central angle 3 degrees 57 minutes, chord bearing North 84 degrees 34 minutes 30 seconds East 250.20 feet from the South 1/4 corner of said Section 23, thence Easterly on the Southerly right of way of M-36, 163.19 feet along the arc of a curve concave to the North, central angle of 2 degrees 34 minutes 30 seconds, chord bearing North 81 degrees 18 minutes 45 seconds East 163.18 feet; thence South 1 degree 22 minutes East 453.42 feet; thence South 88 degrees 38 minutes West 162.15 feet; thence North 1 degree 22 minutes West 432.58 feet to Point of Beginning.

LEGEND

	EXISTING	PROPOSED
SPOT GRADE	> 000.00	> 000.00
CONTOUR	--- 000 ---	--- 000 ---
SANITARY SEWER	--- SAN ---	--- SAN ---
STORM SEWER	--- ST ---	--- ST ---
WATER	--- W ---	--- W ---
OVERHEAD	--- X ---	--- X ---
FENCE	--- GAS ---	--- GAS ---
GAS	--- E ---	--- E ---
ELECTRIC	---	---
DRAINAGE AREA BOUNDARY	---	---
LIMITS OF DISTURBANCE	---	---
SILT FENCE	---	---
SIGN	---	---
LIGHT POLE	---	---
UTILITY POLE	---	---
DECIDUOUS TREE	---	---
GATE VALVE IN WELL	---	---

OWNER/DEVELOPER

C3 INDUSTRIES
4420 Varsity Drive
Ann Arbor, MI 48108
PHONE: (734) 412-4800

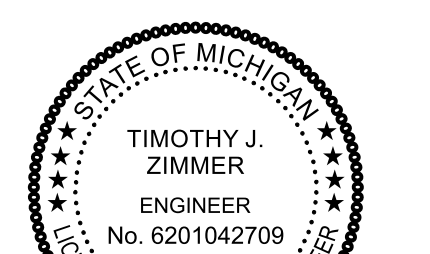
ENGINEER

LE LIVINGSTON ENGINEERING
CIVIL ENGINEERING SURVEYING PLANNING
3300 S. OLD U.S. 23, BRIGHTON, MI 48114
www.livingstoneng.com PHONE: (810) 225-7100 FAX: (810) 225-7699

QPS MICHIGAN HOLDINGS LLC

1066 E M36
VILLAGE OF PINCKNEY
LIVINGSTON COUNTY, MICHIGAN
SITE PLAN

ENGINEER'S SEAL



REVISIONS	DATE	PROJECT No.
PER VILLAGE	04/24/2026	21128
		SHEET 1 OF 15
		DATE: APRIL 20, 2026

UTILITY DISCLAIMER

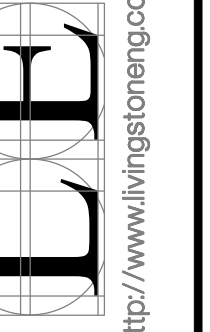
811 Know what's below. Call before you dig.

Utilities as shown indicate approximate location of facilities only, as described by the various companies and no guarantee is given either as to the completeness or accuracy thereof. Contractor shall call "MISS DIG" 1-800-482-7171 prior to the start of construction. Electric, gas, phone and television companies should be contacted prior to the commencement of field activities.

EXISTING CONDITIONS & REMOVALS PLAN

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PLANNING
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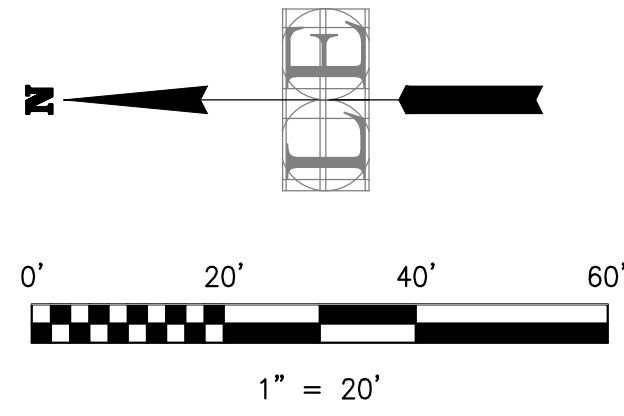
Client
C3 INDUSTRIES
4420 Varsity Drive
Ann Arbor, MI 48108
PHONE: (734) 412-4600

QPS MICHIGAN HOLDINGS LLC
1066 E M36
VILLAGE OF PINCKNEY, LIVINGSTON COUNTY, MICHIGAN
EXISTING CONDITIONS & REMOVALS

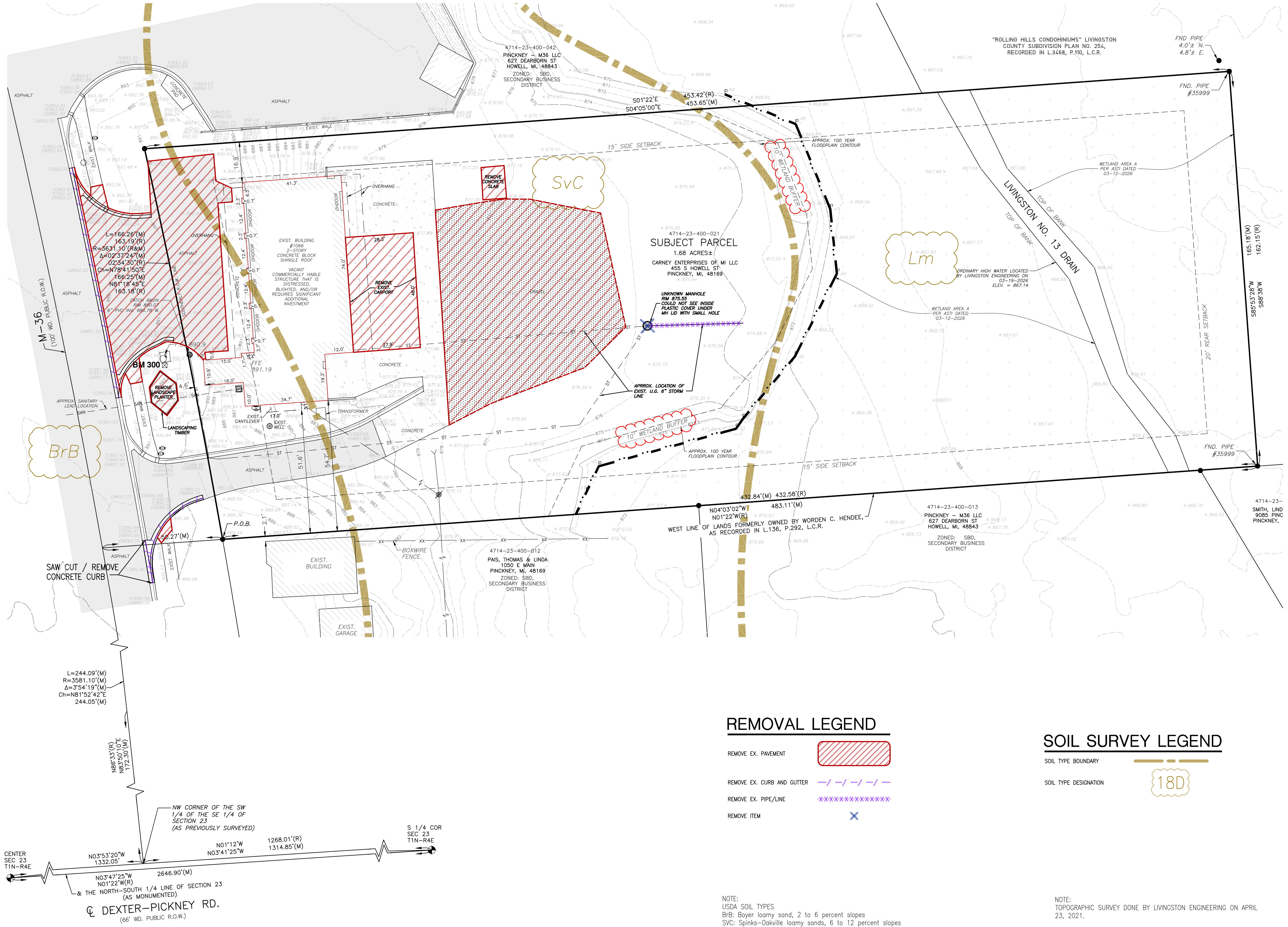
REVISIONS	DATE
PER VILLAGE	04/24/2026

Drawn: JDM	Checked: DL	Approved:	Date: 04/25/2026
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Job No. 21163	Scale:	Vertical: T = 20 FEET	Horizontal:
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BENCHMARKS
BENCHMARK #300
ARROW ON HYDRANT
ELEVATION = 892.83
(NAVD88)



- LEGEND**
- COMMUNICATION RISER
 - GAS METER
 - CATCH BASIN ROUND
 - DOMESTIC WATER WELL
 - GATE VALVE IN BOX
 - HYDRANT
 - AIR CONDITIONING UNIT
 - FLAG POLE
 - GUY WIRE
 - UTILITY POLE
 - GROUND LIGHT
 - LIGHT POLE
 - FINISHED FLOOR
 - FOUND IRON ROD
 - SECTION CORNER
 - BENCHMARK
 - EXISTING OVERHEAD UTILITY LINE

REMOVAL LEGEND

- REMOVE EX. PAVEMENT
- REMOVE EX. CURB AND GUTTER
- REMOVE EX. PIPE/LINE
- REMOVE ITEM

SOIL SURVEY LEGEND

- SOIL TYPE BOUNDARY
- SOIL TYPE DESIGNATION

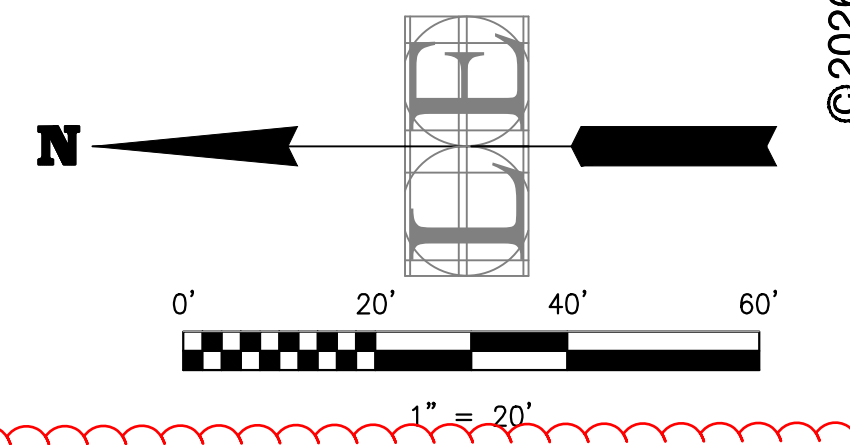
NOTE:
USDA SOIL TYPES
BrB: Boyer loamy sand, 2 to 6 percent slopes
SVC: Spinks-Oakville loamy sands, 6 to 12 percent slopes
Lm: Linwood muck

NOTE:
TOPOGRAPHIC SURVEY DONE BY LIVINGSTON ENGINEERING ON APRIL 23, 2021.

NOTE:
NORTHINGS AND EASTINGS SHOWN ON THIS DRAWING ARE BASED ON MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE INTERNATIONAL FEET (NAD83), ELEVATION BASED UPON NAVD88 DATUM FROM RTK GPS OBSERVATIONS.

FILE:C:\Users\User\Living Projects\2021\21163_QPS Prelim Site Plan\21163_02 Exist & Removals.dwg

SITE LAYOUT PLAN



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 1066 E. M36
 VILLAGE OF PINKNEY, LIVINGSTON COUNTY, MICHIGAN
 SITE LAYOUT PLAN

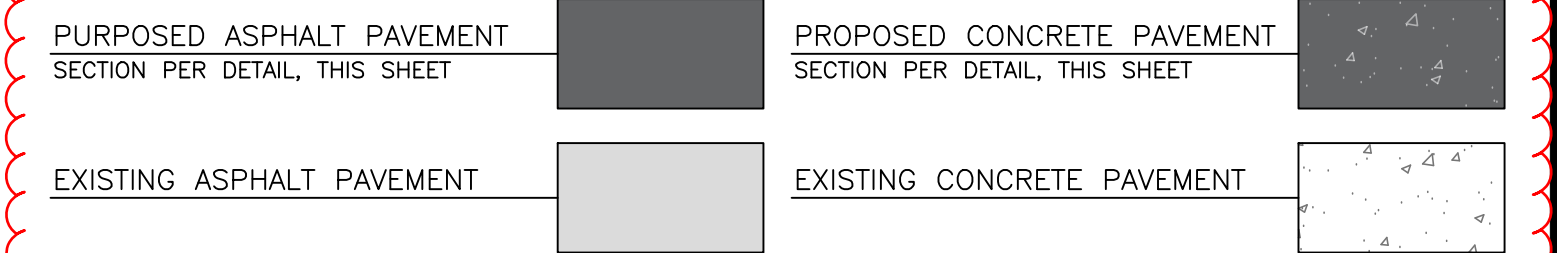
DATE	REVISIONS
04/24/2026	PER VILLAGE

Drawn: JDM
 Checked: DL
 Approved:
 Date: 04/20/2026

KEYED NOTES:

- SIGN-BF** BARRIER FREE SIGN (R7-8), SEE DETAIL ON THIS SHEET
- SIGN-BF*** VAN ACCESSIBLE BARRIER FREE SIGN (R7-8) AND (R7-8a), SEE DETAIL ON THIS SHEET
- SITE-BB** BUMPER BLOCK, PRECAST CONCRETE SEE DETAIL ON THIS SHEET
- SITE-DE** DUMPSTER ENCLOSURE SEE DETAIL ON THIS SHEET
- SITE-RR** RIP RAP SEE DETAIL ON THIS SHEET
- CURB-F2** MDOT F-2 CONCRETE CURB, SEE DETAIL ON THIS SHEET
- CURB-DM** MDOT DRIVEWAY OPENING, TYPE M, SEE DETAIL ON THIS SHEET
- DOOR-MD** EXTERIOR DOOR SEE ARCHITECTURAL PLANS
- MRKG-BL** 4" SINGLE SOLID LINES, BLUE
- MRKG-BH** 4" SINGLE SOLID LINES, BLUE, 45° CROSS HATCH PATTERN (2" O.C.) WITH BORDER, ADA COMPLIANT
- MRKG-SY** PAINTED INTERNATIONAL SYMBOL OF ACCESSIBILITY, BLUE ADA COMPLIANT
- MRKG-WL** 4" SINGLE SOLID LINE, WHITE
- MRKG-WH** 4" SINGLE SOLID LINES, WHITE, 45° CROSS HATCH PATTERN (2" O.C.) WITH BORDER
- SITE-PM** POLE MOUNTED LIGHT SEE DETAIL ON SHEET 7
- SITE-BM** BUILDING MOUNTED LIGHT SEE DETAIL ON SHEET 7
- CONC-SP** CONCRETE SPILLWAY, SEE DETAIL ON THIS SHEET
- SIGN-FL** NO PARKING FIRE LANE SIGN (R8-31), SEE DETAIL ON THIS SHEET

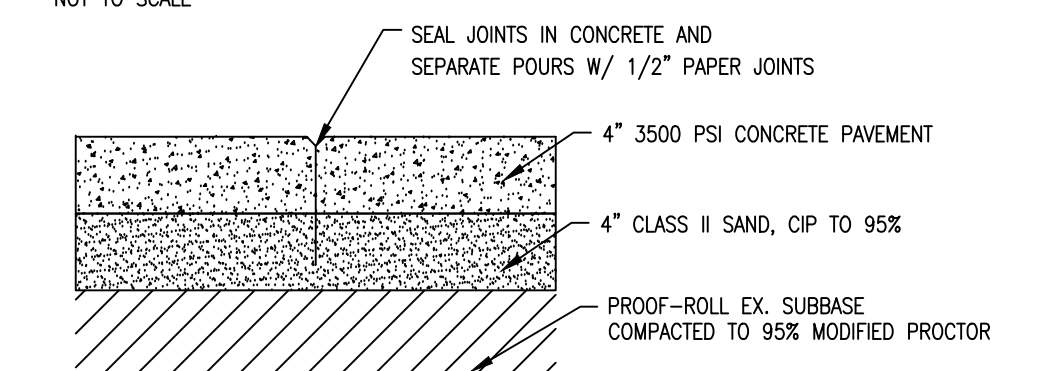
PAVEMENT LEGEND



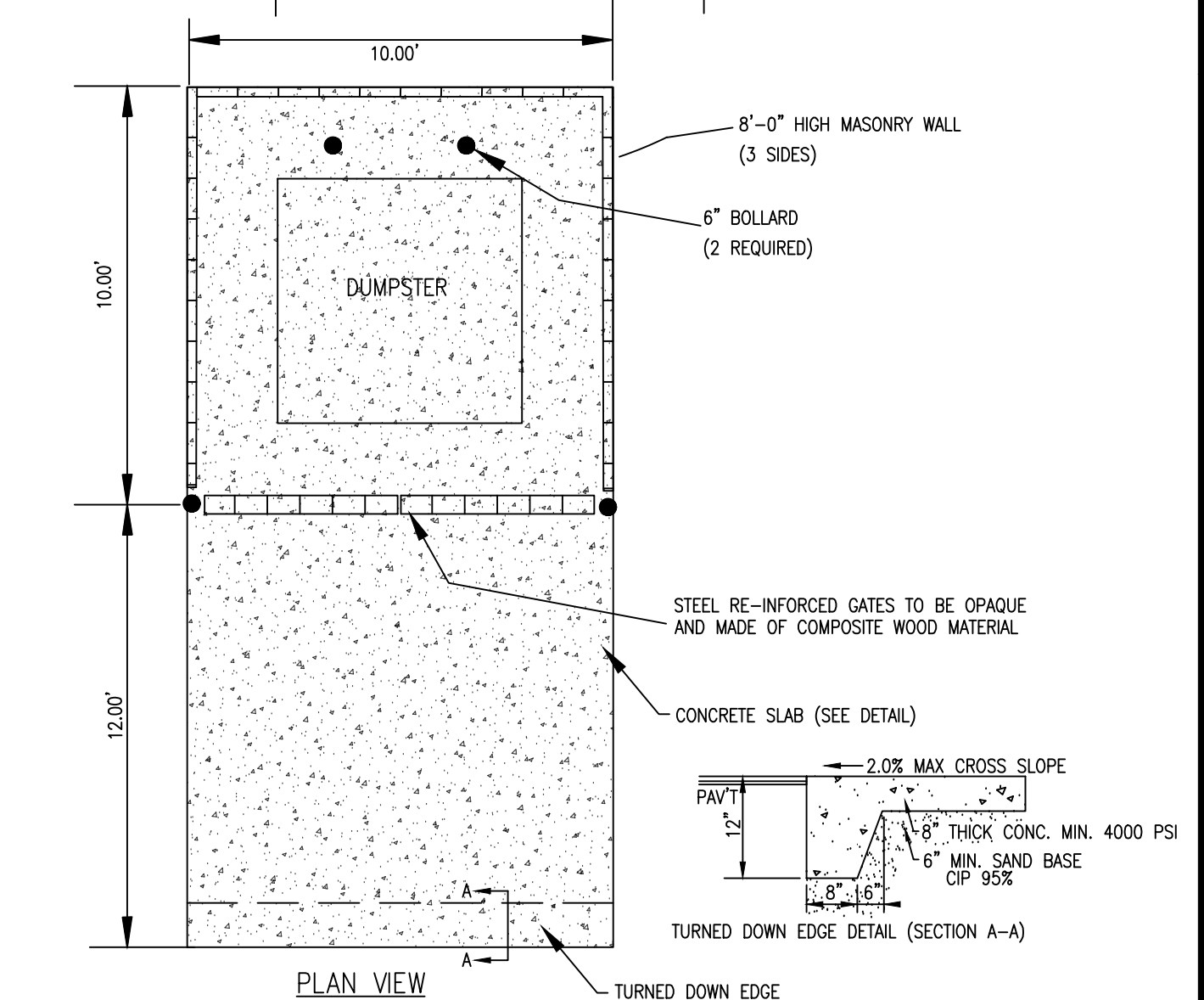
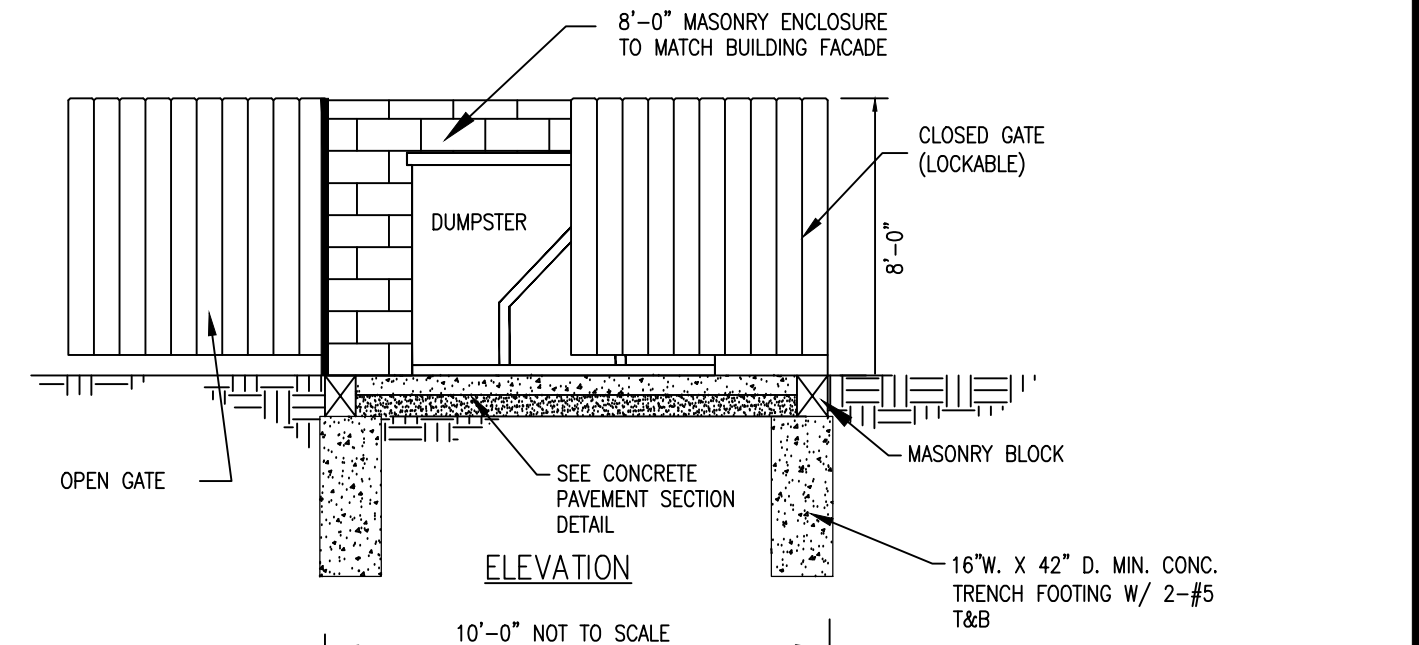
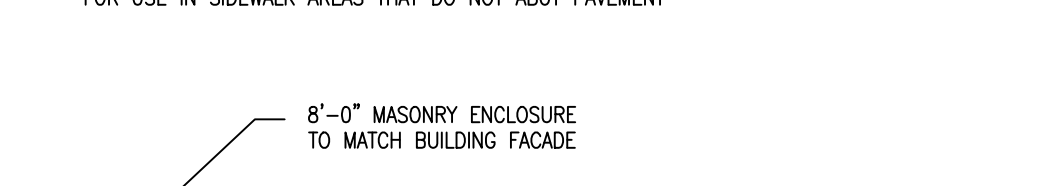
UTILITY SERVICES

THE PROPOSED DEVELOPMENT SHALL UTILIZE THE EXISTING UTILITIES WITHIN THE E MICHIGAN 36 STREET RIGHT-OF-WAY TO SERVICE THE SITE.

ASPHALT PAVEMENT SECTION



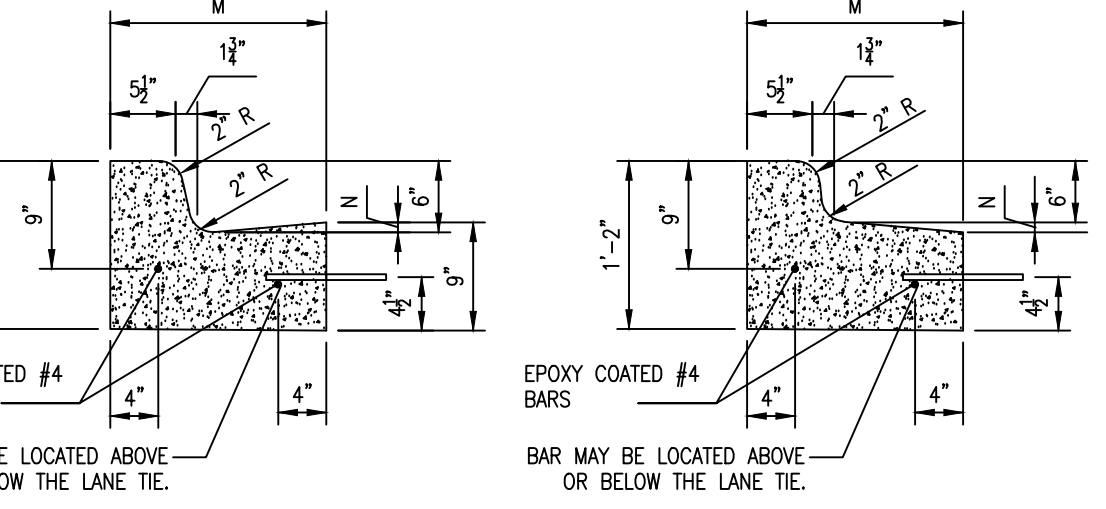
CONCRETE SIDEWALK SECTION



NO PARKING FIRE LANE
 12" x 18" RED ON WHITE REFLECTORIZED 7'-0" MOUNTING HEIGHT (LR7-22)
SIGN-FL NOT TO SCALE



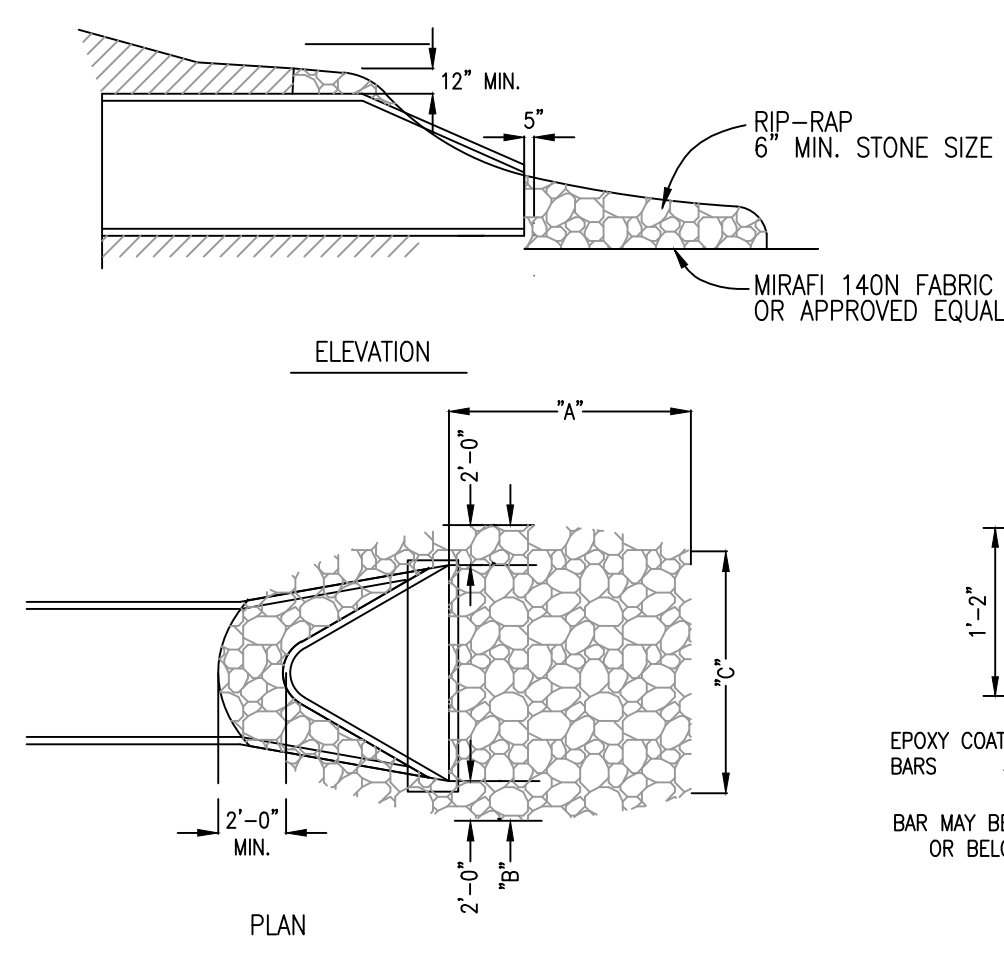
FIRE LANE SIGN DETAIL
 12" x 18" RED ON WHITE REFLECTORIZED 7'-0" MOUNTING HEIGHT (LR7-22)
SIGN-FL NOT TO SCALE



STANDARD CURB and **REVERSE CURB**

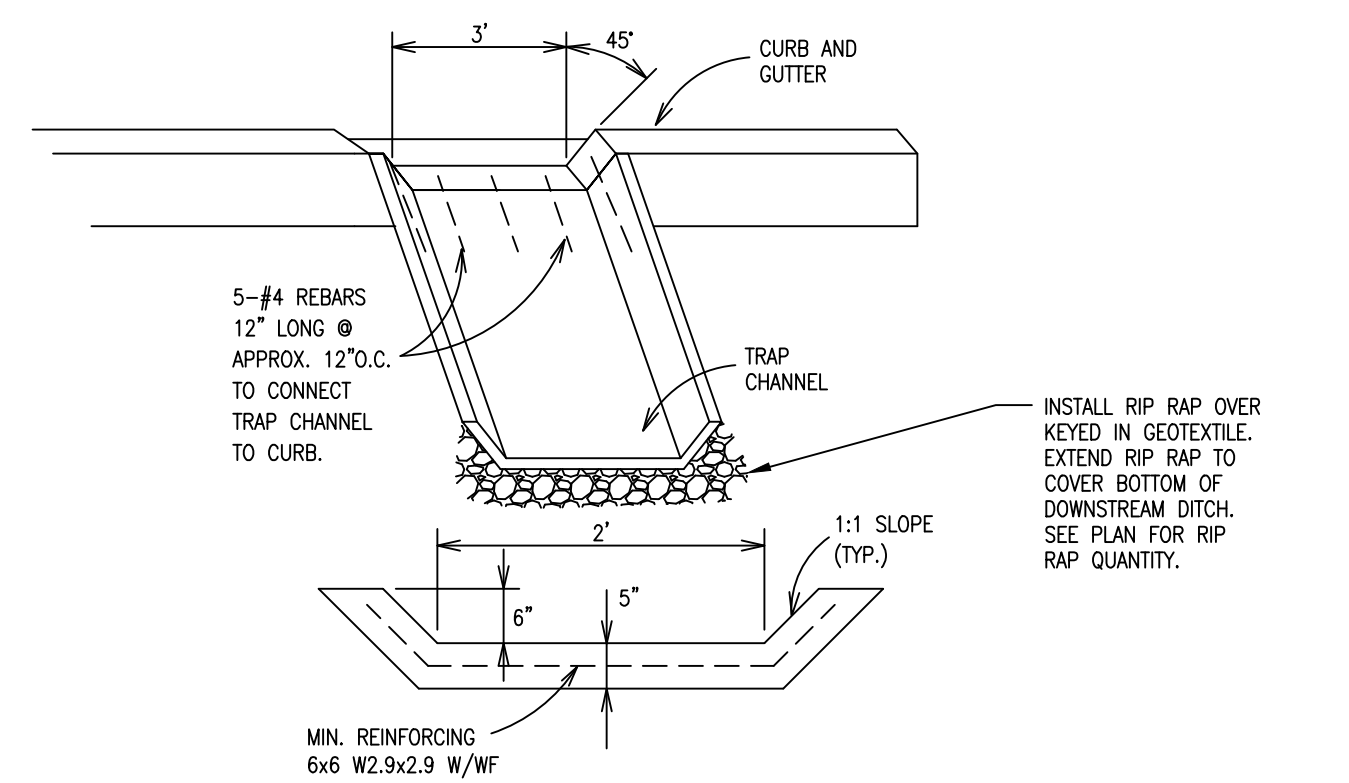
DETAIL	DIMENSIONS	LANE TIES	CONCRETE CU. YD. / LIN. FT.
F1	1'-6" / 7/8"	AS SHOWN	0.0484
F2	1'-6" / 7/8"	OMITTED	0.0484
F3	2'-0" / 1 3/8"	AS SHOWN	0.0610
F4	2'-0" / 1 3/8"	OMITTED	0.0610
F5	2'-6" / 1 7/8"	AS SHOWN	0.0737
F6	2'-6" / 1 7/8"	OMITTED	0.0737

MDOT "F" CONCRETE CURB
CURB-F2 and **CURB-F4** NOT TO SCALE

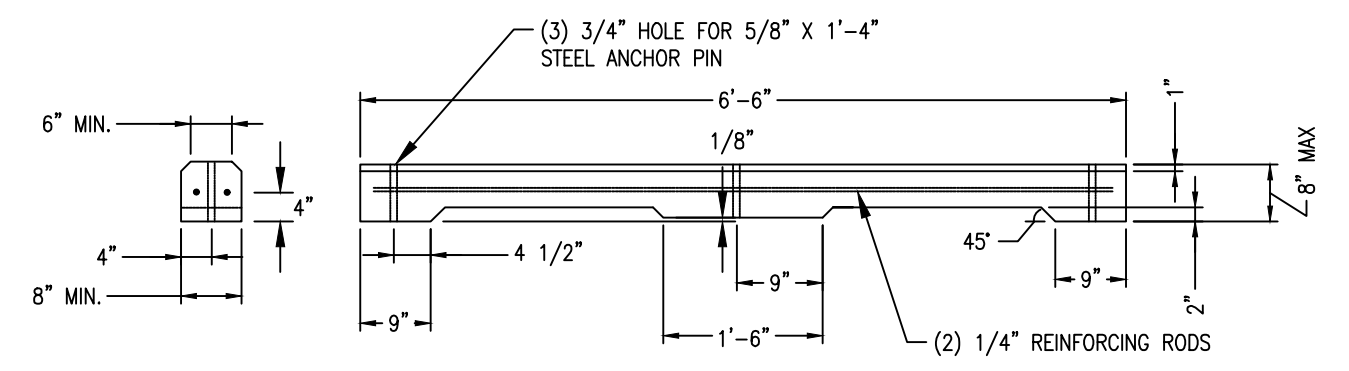


PIPE DIAMETER	"A"	"B"	"C"	SQUARE YARDS
12"	5'-0"	6'-6"	3'-0"	15 MIN
15"	5'-0"	7'-0"	3'-0"	15 MIN
18"	5'-0"	7'-6"	3'-6"	15 MIN
21"	5'-6"	8'-0"	4'-0"	15 MIN
24"	6'-0"	8'-6"	4'-6"	15 MIN

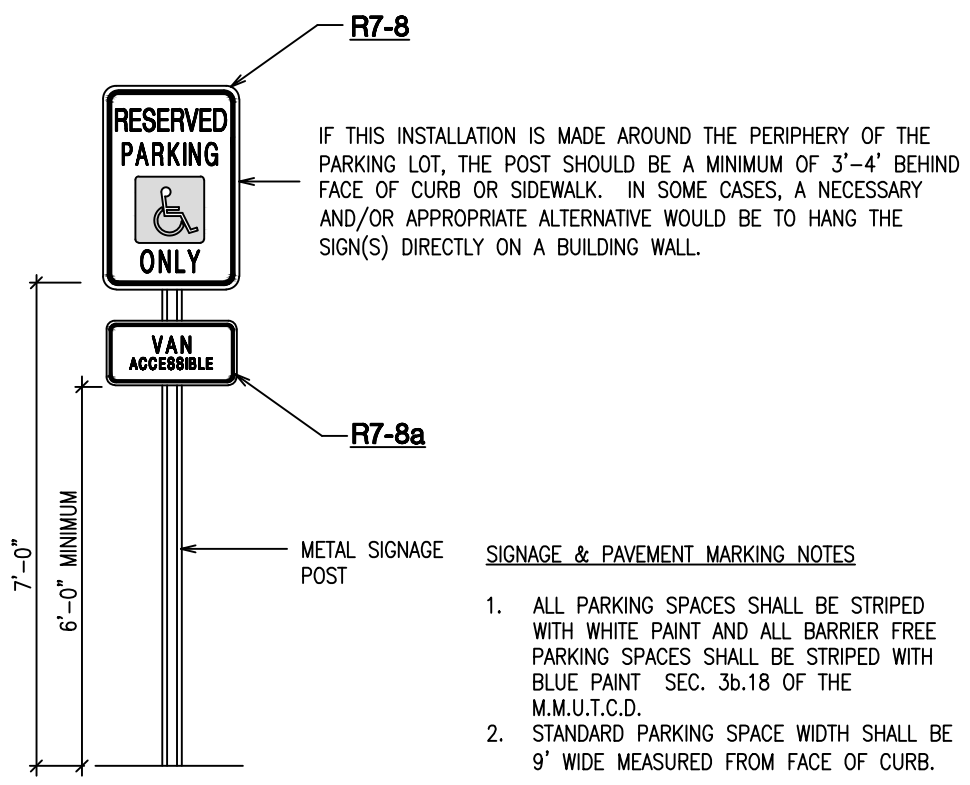
RIP-RAP DETAIL
SITE-RR NOT TO SCALE



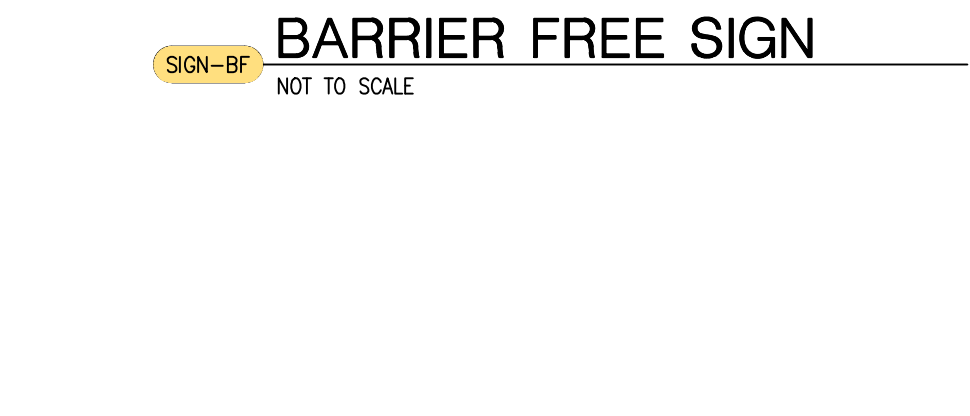
CURB AND GUTTER SPILLWAY
CONC-SP NOT TO SCALE



CONCRETE BUMPER BLOCK
SITE-BB NOT TO SCALE



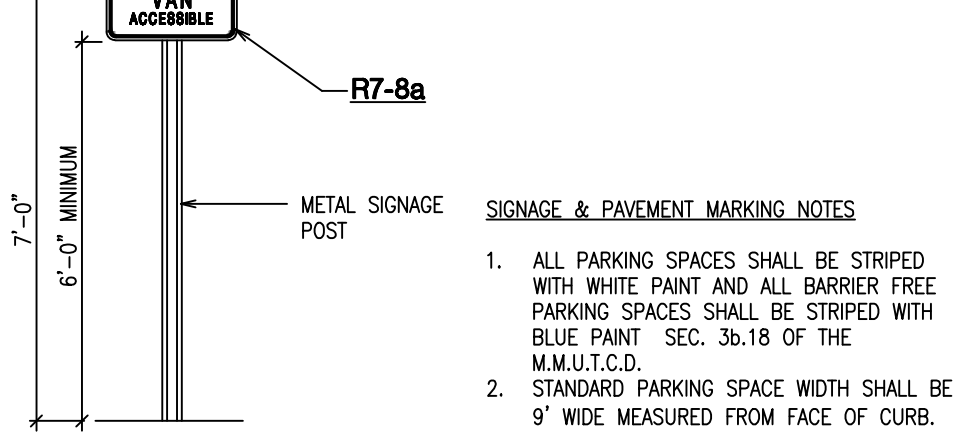
BARRIER FREE SIGN
SIGN-BF NOT TO SCALE



CONCRETE SPILLWAY
CONC-SP NOT TO SCALE



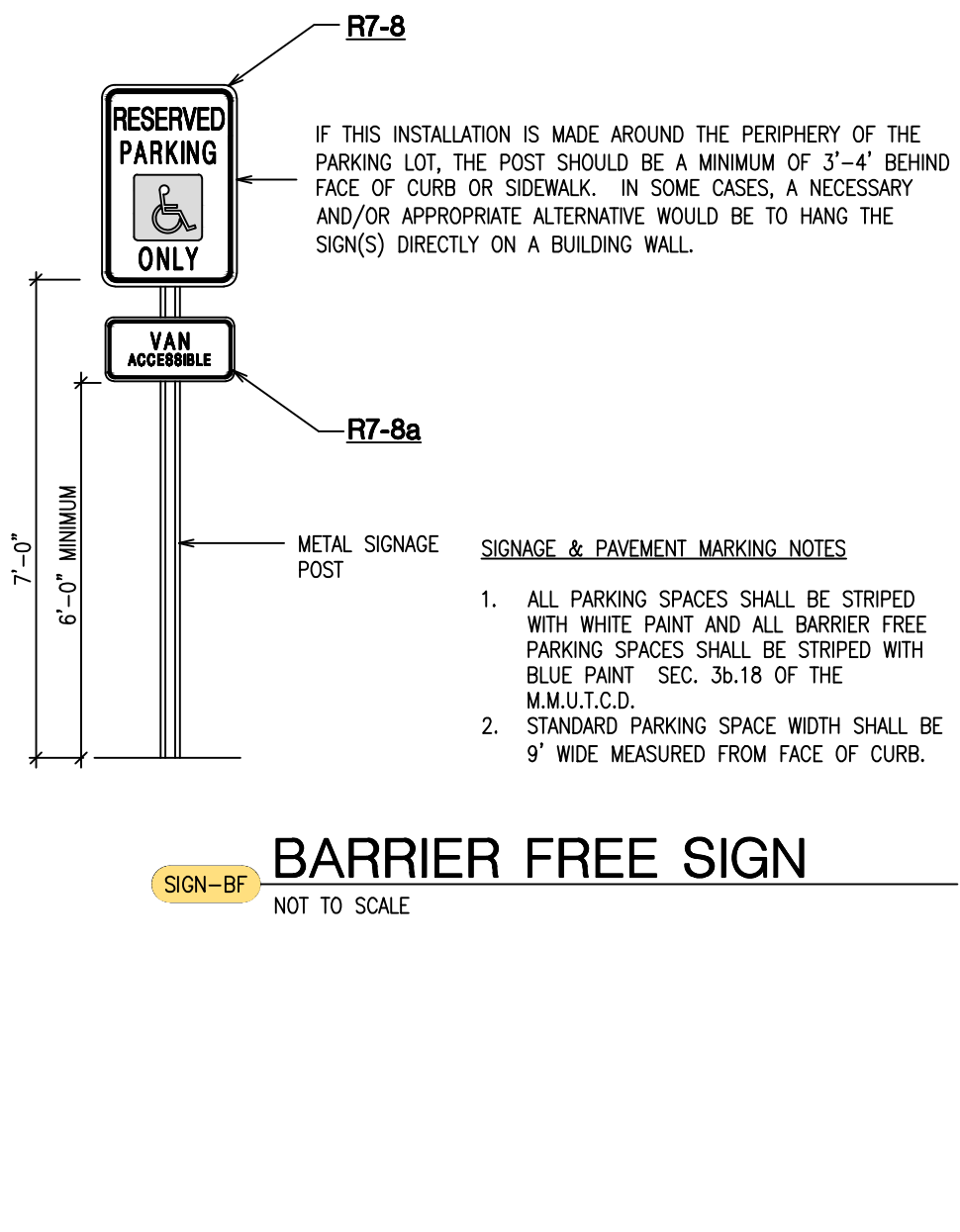
RESERVED PARKING ONLY
R7-8 and **R7-8a**



VAN ACCESSIBLE
R7-8a

- ### SIGNAGE & PAVEMENT MARKING NOTES
- ALL PARKING SPACES SHALL BE STRIPED WITH WHITE PAINT AND ALL BARRIER FREE PARKING SPACES SHALL BE STRIPED WITH BLUE PAINT. SEC. 3a.18 OF THE M.M.U.T.C.D.
 - STANDARD PARKING SPACE WIDTH SHALL BE 9' WIDE MEASURED FROM FACE OF CURB.

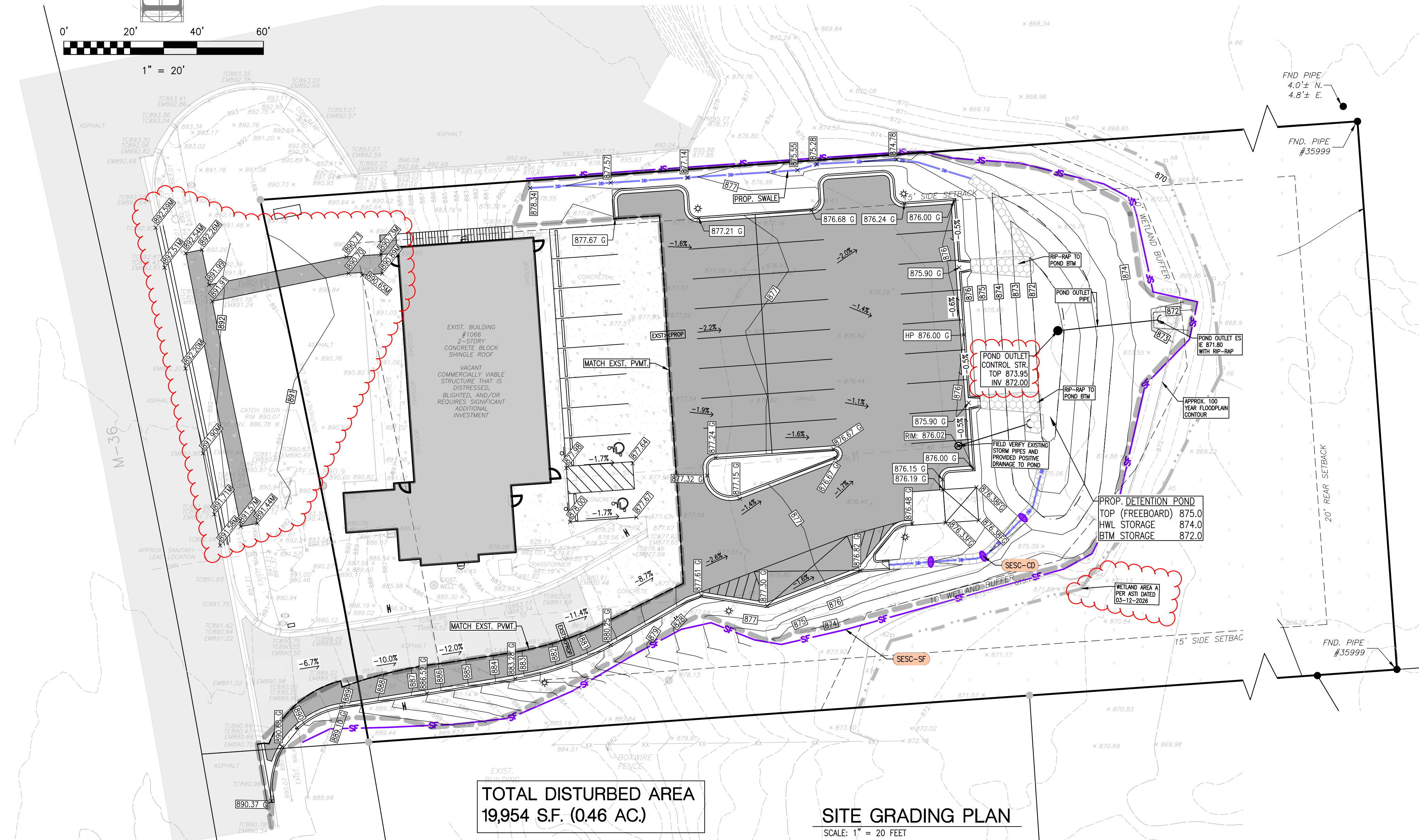
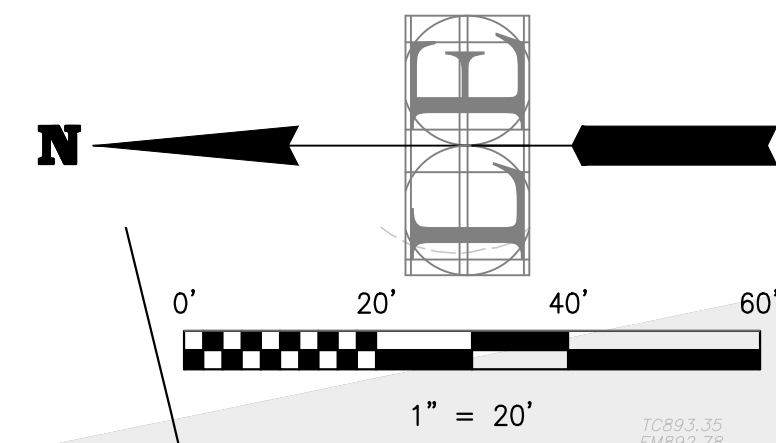
SIGNAGE & PAVEMENT MARKING NOTES



SMITH, LIND 9085 PINE PINCKNEY,

FILE:C:\Users\User\Livingston\Projects\2021\21163_QPS Michigan Holdings\03 DWG\03 Prelim Site Plan\21163_03 Site Plan.dwg

SITE GRADING AND STORM WATER MGMT PLAN



POND CALCULATIONS

Storm Water Detention Calculations	
Project: QPS MICHIGAN HOLDINGS LLC	
LE Project Number: 21163	
Livingston County Method	
I Composite Runoff Coefficient Calculations	
I.A Runoff Coefficient Summary	
Type of Surface	C Factor Area, ac
Water Surfaces	0.95 -
Roofs	0.9 0.09
Asphalt or Concrete Pavements	0.9 0.40
Greenspace (Hydrologic Soil Group B)	0.2 0.31
I.B Total Contributing Area, A	0.80 ac
I.C Composite Runoff Coefficient, C	0.63
II Time of Concentration Calculations	
II.D Time of Concentration	
$t_c = t_{sheet} + t_{shallow} + t_{steeper}$	10.0 min
* $t_c = 10$ minutes per county standard for sites that are 2 acres or less	
III 100-year Peak Intensity	
$I_{100} = 83.3 / (9.17 + t_c)^{0.81}$	7.6 in/hr
IV Channel Protection Volume - Credit	
The proposed detention pond is designed with the assumption that the stormwater infiltration will be minimal and impeded.	
$V_{CP,C} =$	- cf
No infiltration testing has been completed at this time.	
V Channel Protection Control (CPRC), Site Runoff from First 1.3" of Rainfall, V_{CPRC}	
$V_{CPRC} = 1.3" \times (1/12") \times (43,560 \text{ sf/acre}) \times C \times A$	
$V_{CPRC} = 4,719 \times C \times A$	2,372 cf
Channel Protection Rate Control (CPRC), Extended Detention for the Site Runoff from a 1.9" Rainfall Event, V_{ED}	
$V_{ED} = 1.9" \times (1/12") \times (43,560 \text{ sf/acre}) \times C \times A$	
$V_{ED} = 6,897 \times C \times A$	3,467 cf

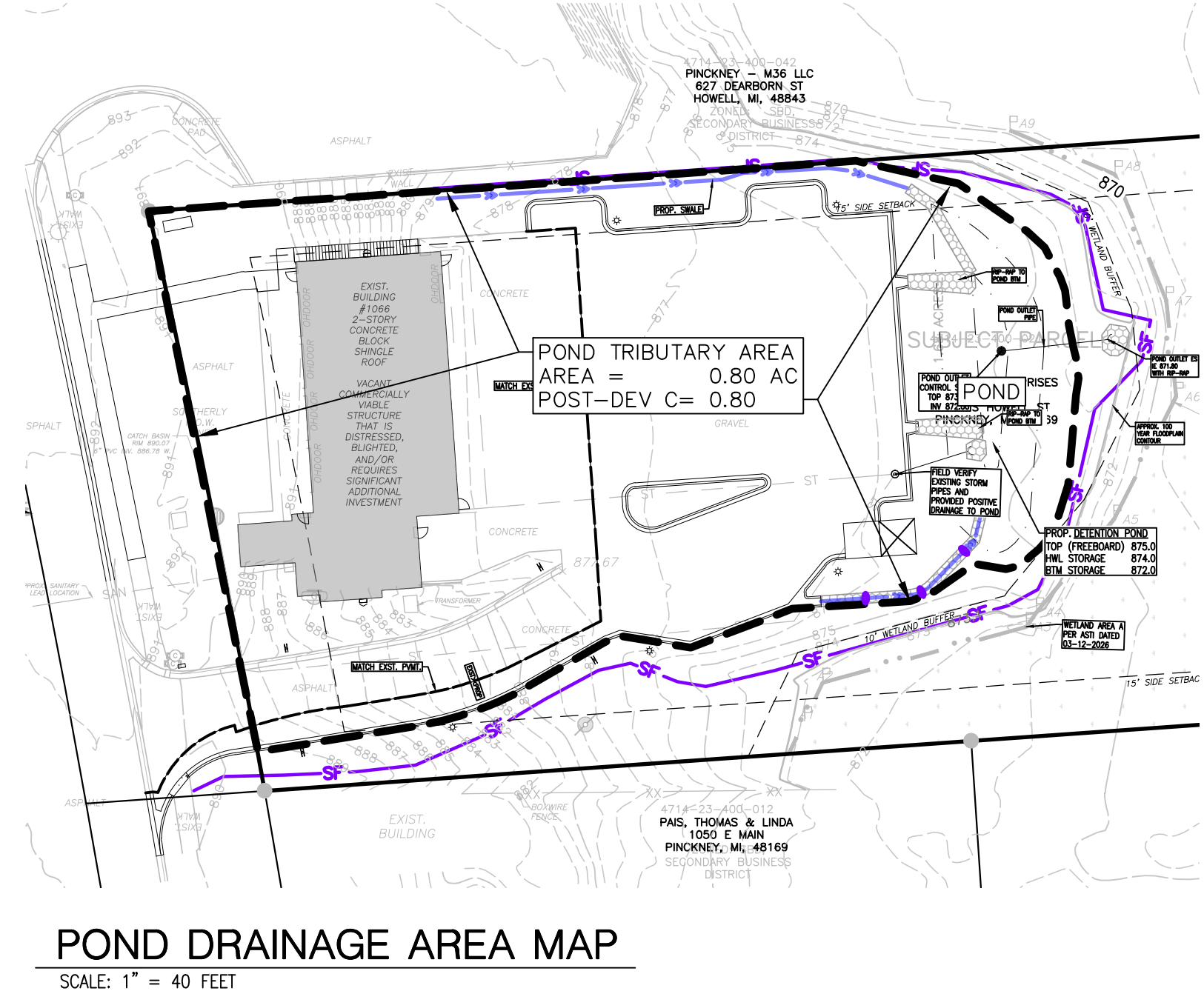
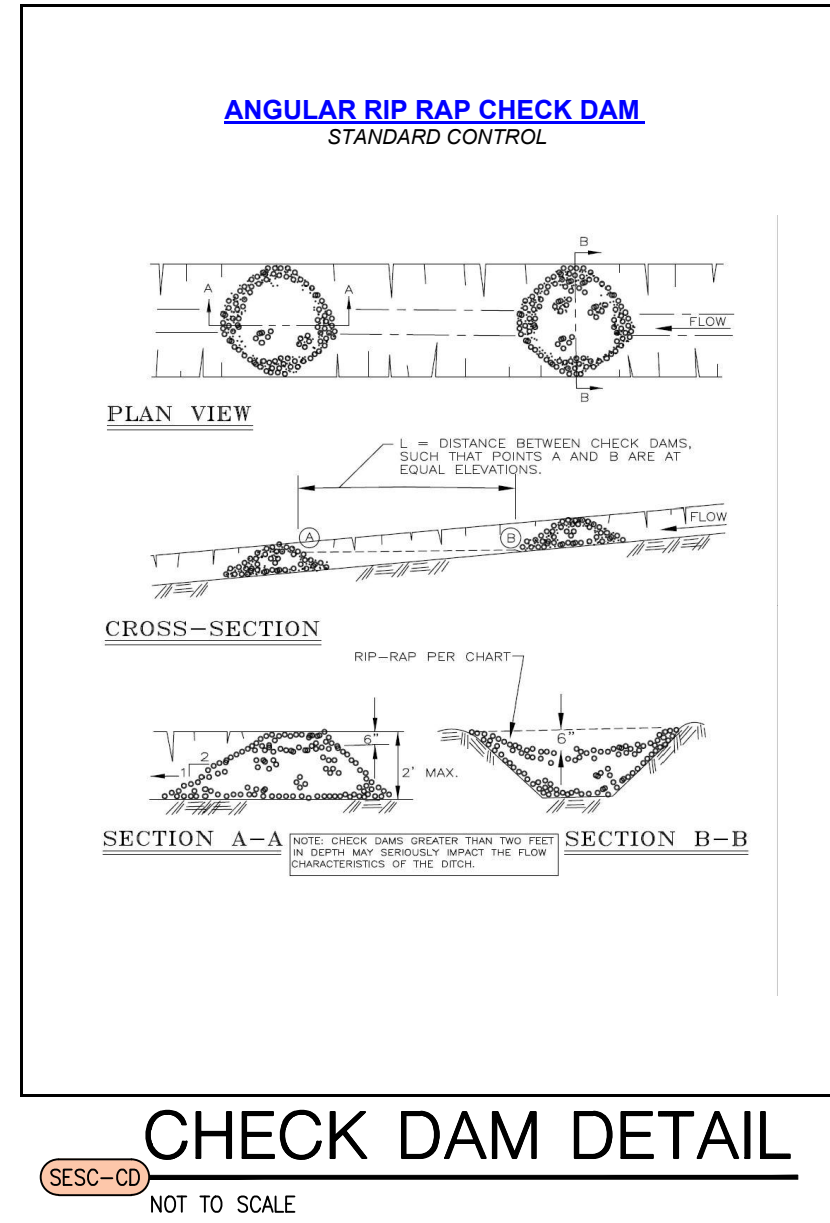
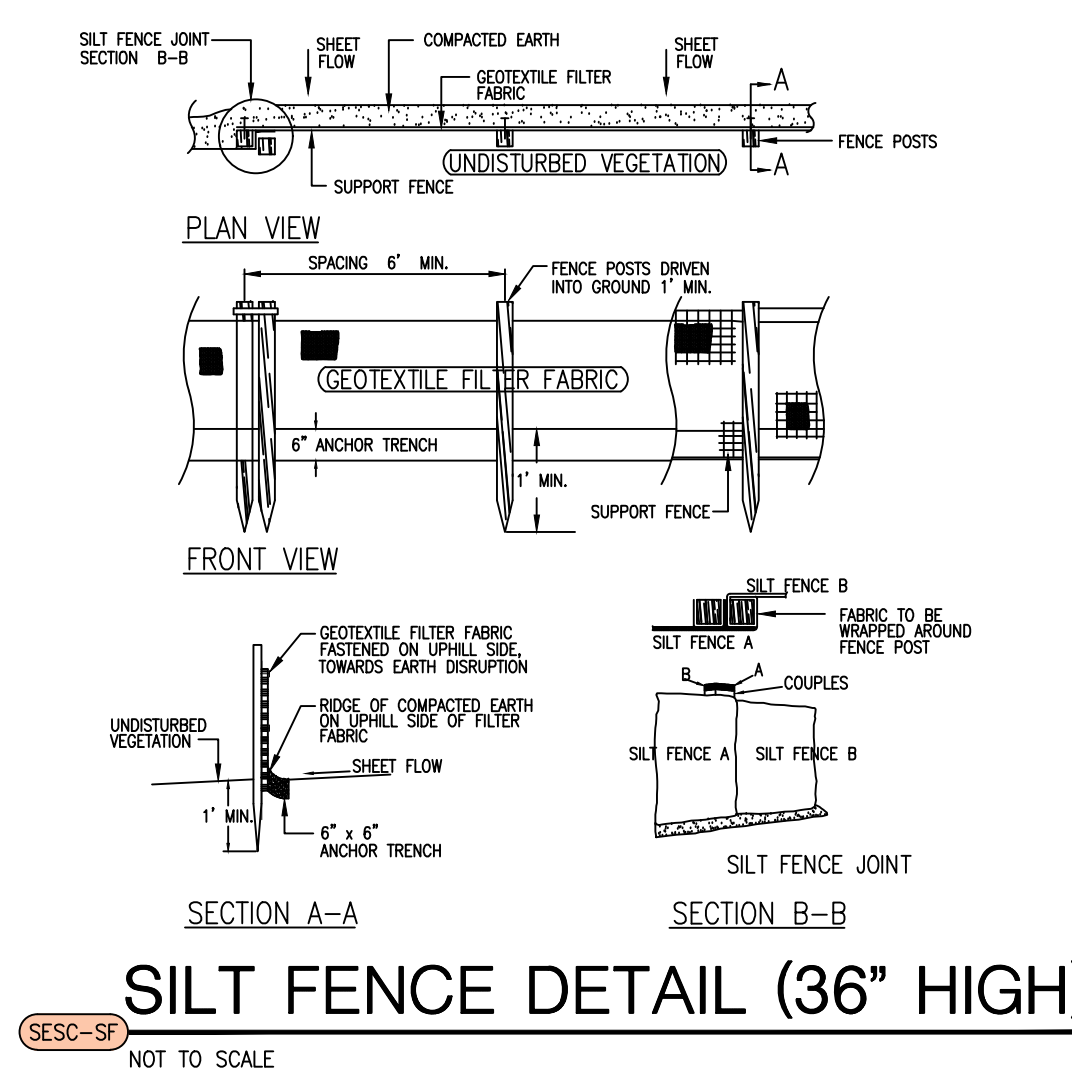
Proposed Basin Volumes			
Detention Pond Elevation	Area (sf)	Volume (cf)	Total Accumulated Volume (cf)
872.00	354	-	-
873.00	1,181	768	768
874.00	2,199	1,690	2,458

XIII Design Storm Elevations			
The following interpolations determine the pond water elevations for the different storm events:			
XIII.A First Flush Elevation, V_{FF}			
Elevation	874.00 - 873.00 = x_1 - 873.00		
Volume	2458 - 768 = 1825 - 768		
Elev V_{FF}	= x_1 = 873.63		

XIII.B Channel Protection Control, Elev V_{CPRC}			
Elevation	874.00 - 873.00 = x_2 - 873.00		
Volume	2458 - 768 = 2372 - 768		
Elev V_{CPRC}	= x_2 = 873.95		

SESC LEGEND

- PR. CONTOUR 615
- LIMITS OF GRADING
- SWALE LINE
- SESC-SF SILT FENCE
- SESC-RR RIPRAP
- SESC-CD CHECK DAM



FILE:C:\Users\User\Livingston\Projects\2021\21163_QPS_Michigan_Holdings\03_DWGSS\Prelim_Site_Plan\21163_04_Grading_SWM_Plan.dwg

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QPS MICHIGAN HOLDINGS LLC
1066 E. M36
VILLAGE OF PINKNEY, LIVINGSTON COUNTY, MICHIGAN
SITE GRADING AND STORM WATER MANAGEMENT PLAN

DATE
04/24/2026

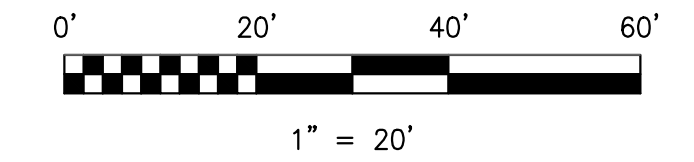
REVISIONS
PER VILLAGE

Drawn: JDM
Checked: DL
Approved:
Date: 04/20/2026

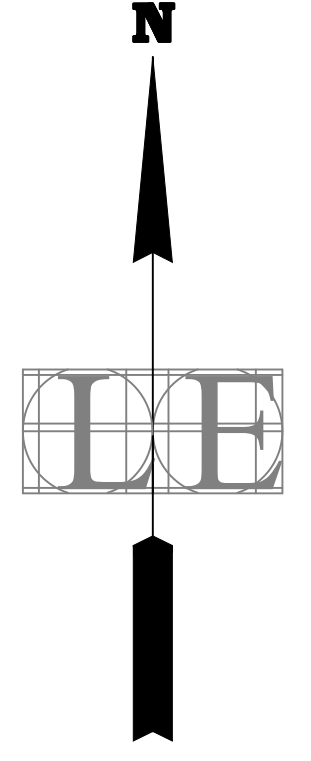
Job No. **21163**

Scale: **1" = 20 FEET**

ACCESS PLAN



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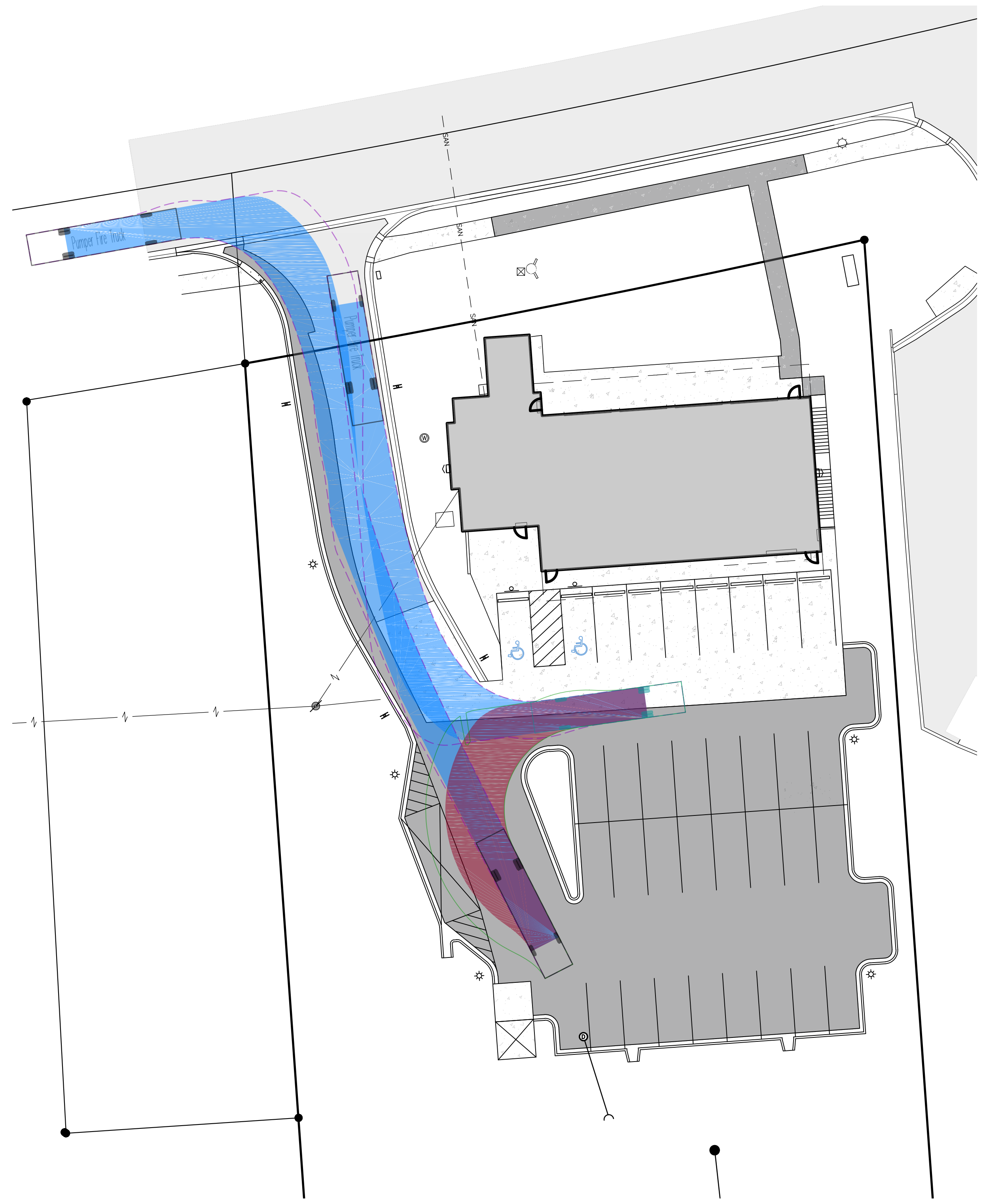
QPS MICHIGAN HOLDINGS LLC
 1066 E M36
 VILLAGE OF PINCKNEY, LIVINGSTON COUNTY, MICHIGAN
 ACCESS PLAN

DATE
 04/24/2026

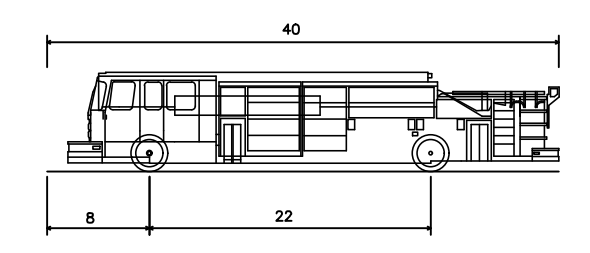
REVISIONS
 PER VILLAGE

Drawn: JDM
 Checked: DL
 Approved:
 Date: 04/20/2026

Job No. **21163**
 Scale:
 Vertical:
 Horizontal:

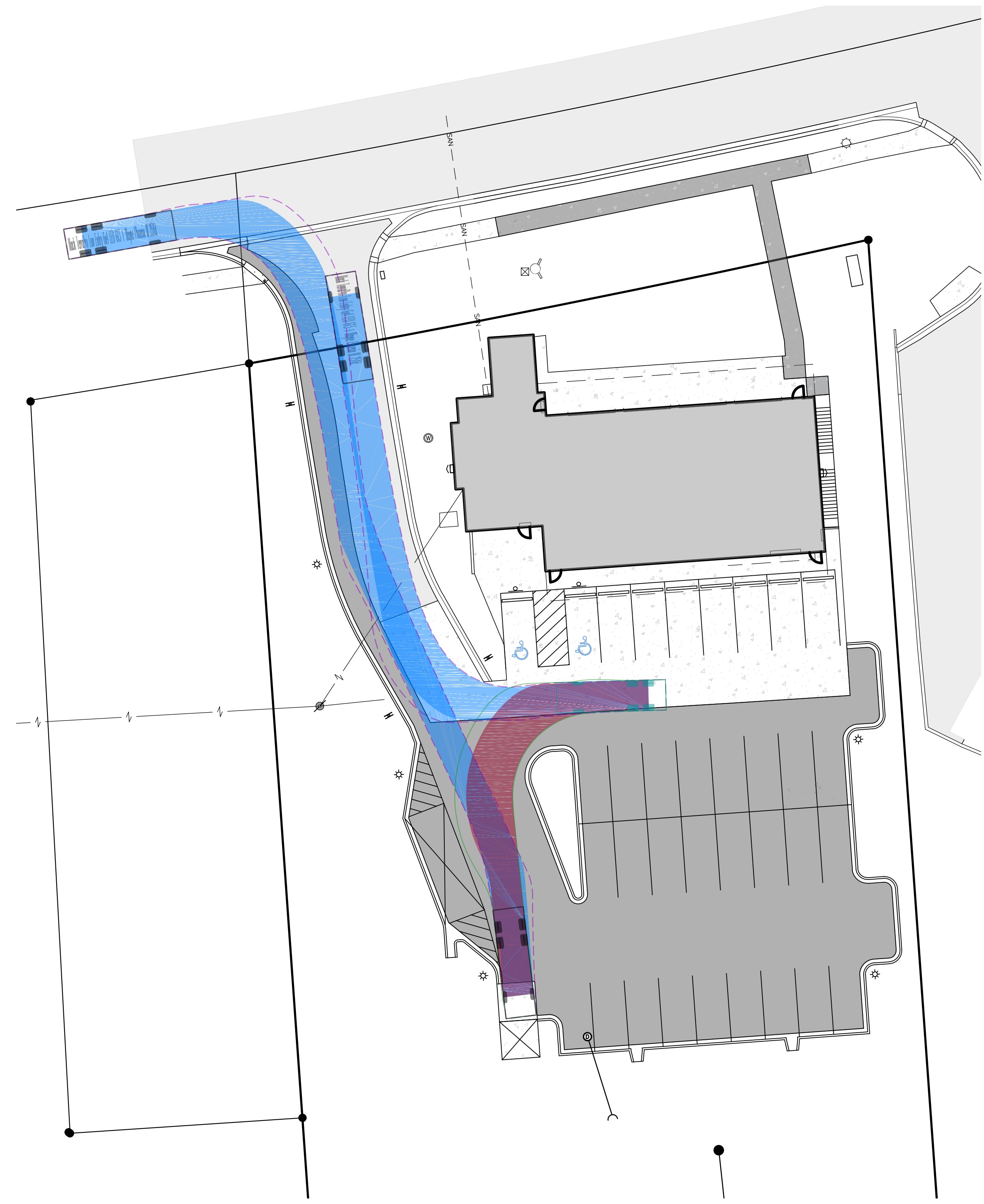


TRUCK MANUEVERING PATH
 SCALE: 1" = 10 FEET

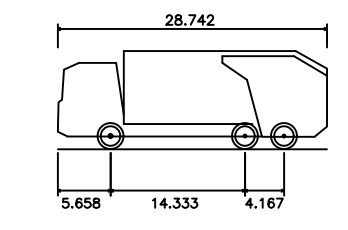


Pumper Fire Truck
 Overall Length 40.00ft
 Overall Width 8.167ft
 Overall Body Height 7.745ft
 Min Body Ground Clearance 0.656ft
 Track Width 8.167ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°

PUMPER FIRE TRUCK PROFILE



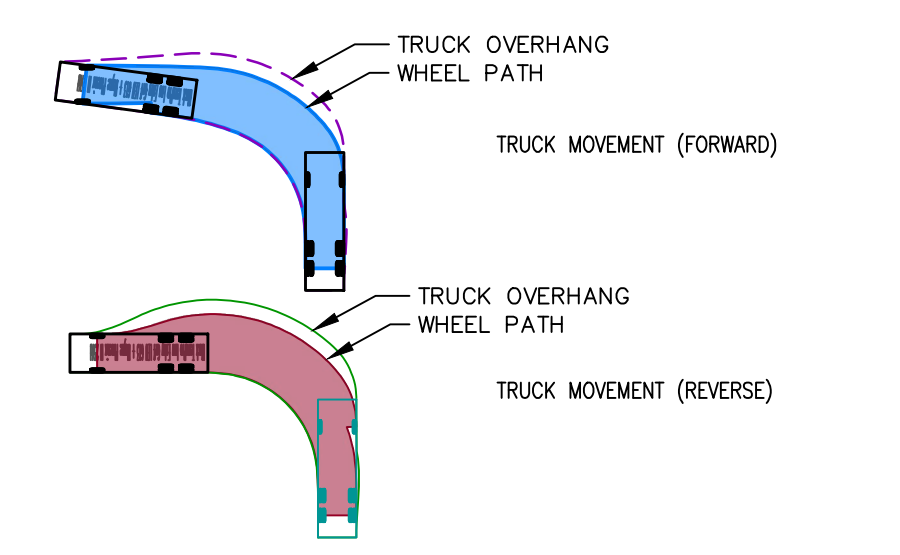
TRUCK MANUEVERING PATH
 SCALE: 1" = 10 FEET



Mack TerraPro Low Entry 6x4 LEU 613 + Wayne Phoenix III 25Yd
 Overall Length 28.742ft
 Overall Width 5.608ft
 Overall Body Height 14.333ft
 Min Body Ground Clearance 0.800ft
 Track Width 8.111ft
 Lock-to-lock time 6.00s
 Curb to Curb turning Radius 34.000ft

GARBAGE TRUCK PROFILE

TRUCK TURNING LEGEND



FILE:C:\Users\User\Living\Proposa\Projects\2021\21163_QPS_1066 E M36 Pinckney\03 DWG\ Prelim Site Plan\21163_05 Access Plan.dwg

LANDSCAPE PLANTING NOTES:

PLANTING

- Installation of all plant material shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock* and with the specifications set forth by the Village of Pinckney, Michigan.
- The plant materials shall conform to the type stated on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock*.
- The plant material shall be nursery grown and inspected by the Owner's representative before planting. The Owner's representative reserves the right to reject any plant material at any time.
- Plants designated "B&B" shall be balled and burlapped with firm balls of earth.
- Dig shrub pits one foot (1') larger than the shrub rootball, tree pits three (3) times the width of the tree rootball and backfill with one (1) part topsoil and one (1) part soil from excavated pit. Plant trees and shrubs at the same grade level at which they were planted at the nursery. If wet, clay soils are evident, plant trees and shrubs slightly higher.
- The Contractor is responsible for planting the materials at the correct grades and spacing. The plants shall be oriented to give the best appearance.
- When the plant has been properly set, the pit shall be backfilled with the topsoil mixture, gradually filling, patting, and settling with water.
- Trees in lawn areas to have a four foot (4') circle of mulch, four inches (4") deep, and three inches (3") away from the trunk. Shrub beds are to be mulched with shredded bark mulch to a minimum depth of three inches (3"). Perennial beds are to be mulched with shredded bark mulch to a minimum depth of two inches (2"). Only natural color, finely shredded hardwood bark mulch will be accepted.
- Remove all twine, wire, and burlap from the top one third (1/3) of tree and shrub root balls and from tree trunks. Remove all non-biodegradable material such as plastic or nylon completely from branches and stems. All tree wrap, stakes, and guys are to be removed after one (1) winter season.
- All plant materials shall be pruned and injuries repaired. The amount of pruning shall be limited to the removal of dead or injured limbs and to compensate for the loss of roots from transplanting. Cuts should be flush, leaving no stubs. Do not apply tree paint to freshly cut wounds. Shrubs along the site perimeter shall be allowed to grow together in a natural form.
- Organic, friable topsoil shall be evenly distributed and fine graded over all areas to receive lawns at uniform depth of four inches (4") after settlement.
- All lawn areas shall be sodded with a Grade A Kentucky Blue Grass blend over the topsoil.
- All plantings shall be completed within three (3) months, and no later than November 30, from the date of issuance of a certificate of occupancy if such certificate is issued during the April 1 thru September 30 period; if the certificate is issued during the October 1 thru March 31 period, the planting shall be completed no later than the ensuing May 31; plantings shall thereafter be reasonably maintained, including permanence and health of plant materials.
- Backfill directly behind all curbs and along sidewalks and compact to the top of curbs or walk to support vehicle and pedestrian weight without settling.
- Conversion of all asphalt and gravel areas to landscape planting beds shall be done in the following manner: a. Remove all asphalt, gravel, and compacted earth to a depth of six inches to eighteen inches (6"-18") depending on the depth of the sub base and dispose of off site; b. Call the Village for an inspection prior to backfilling; c. Replace excavated material with good, medium-textured planting soil (loam or light yellow clay loam) to a minimum of two inches (2") above the top of the curb and sidewalk, add four inches to six inches (4"-6") of topsoil and crown to a minimum of six inches (6") above the adjacent curb and walk after earth settling, unless otherwise noted on the landscape plan.

If conversion from asphalt to landscape occurs in or between an existing landscape area(s), replace excavated material from four inches to six inches (4"-6") below adjacent existing grade with good, medium-textured planting soil (loam or light yellow clay loam) and add four inches to six inches (4"-6") of topsoil to meet existing grades after earth setting.

MATERIALS

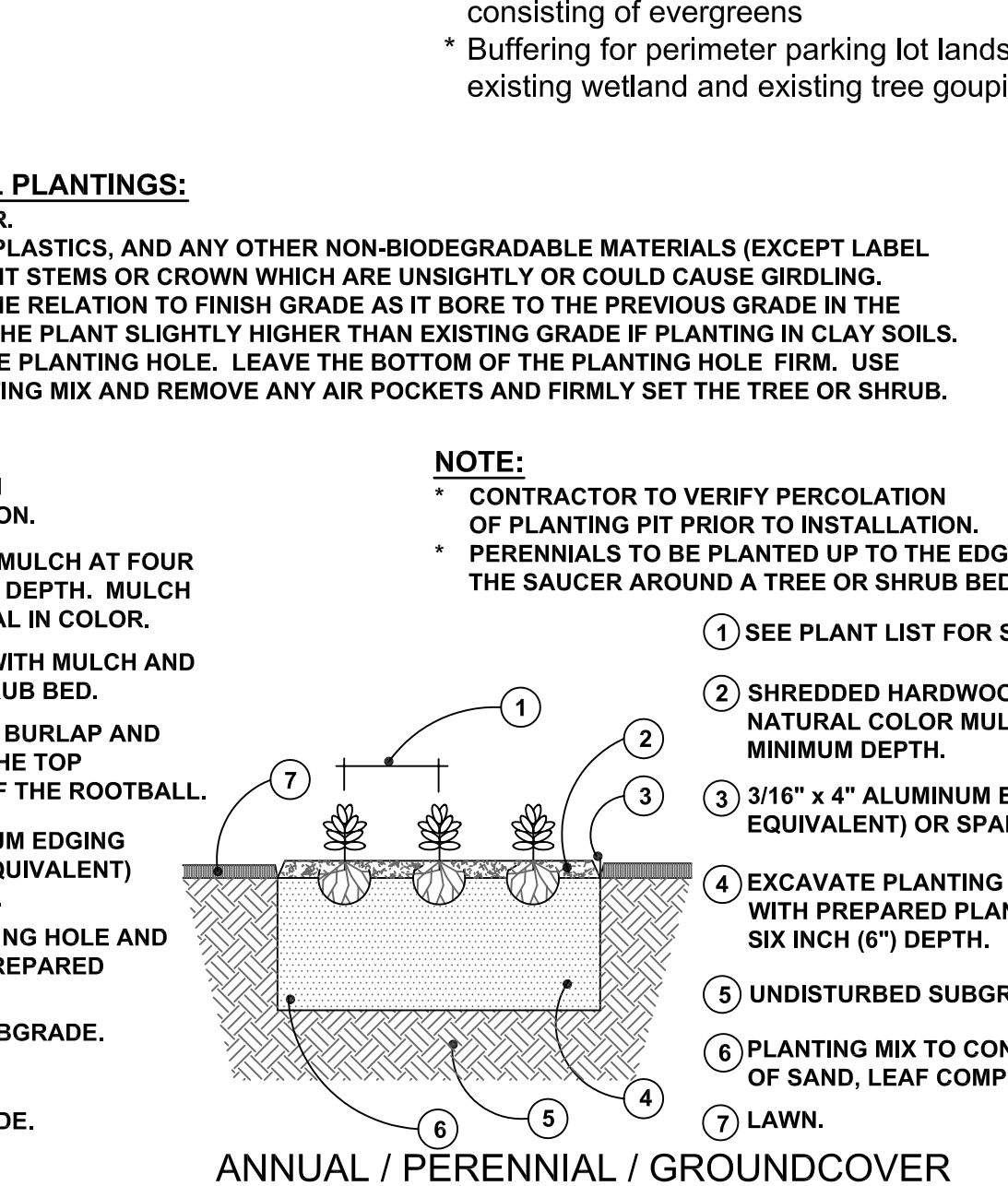
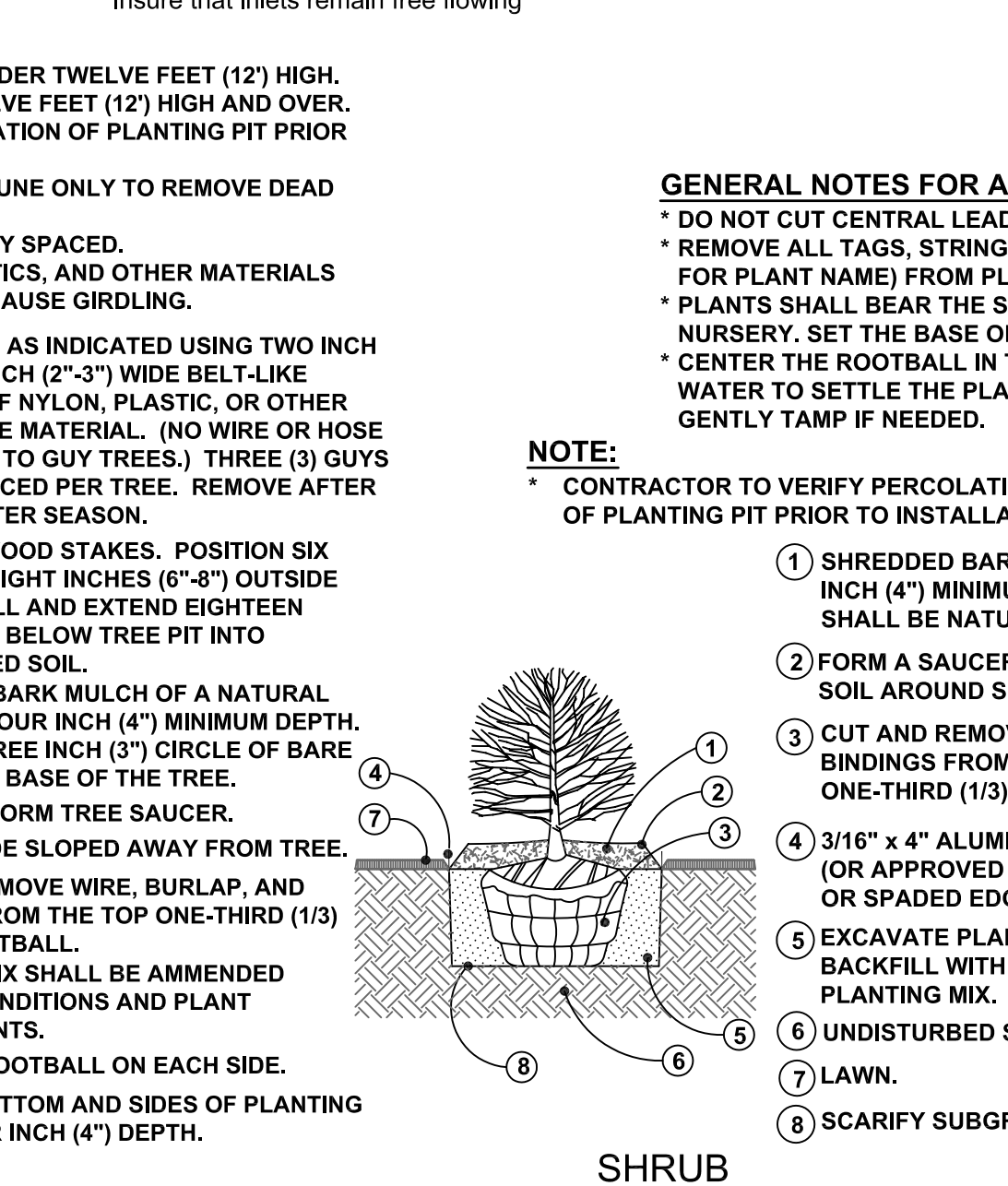
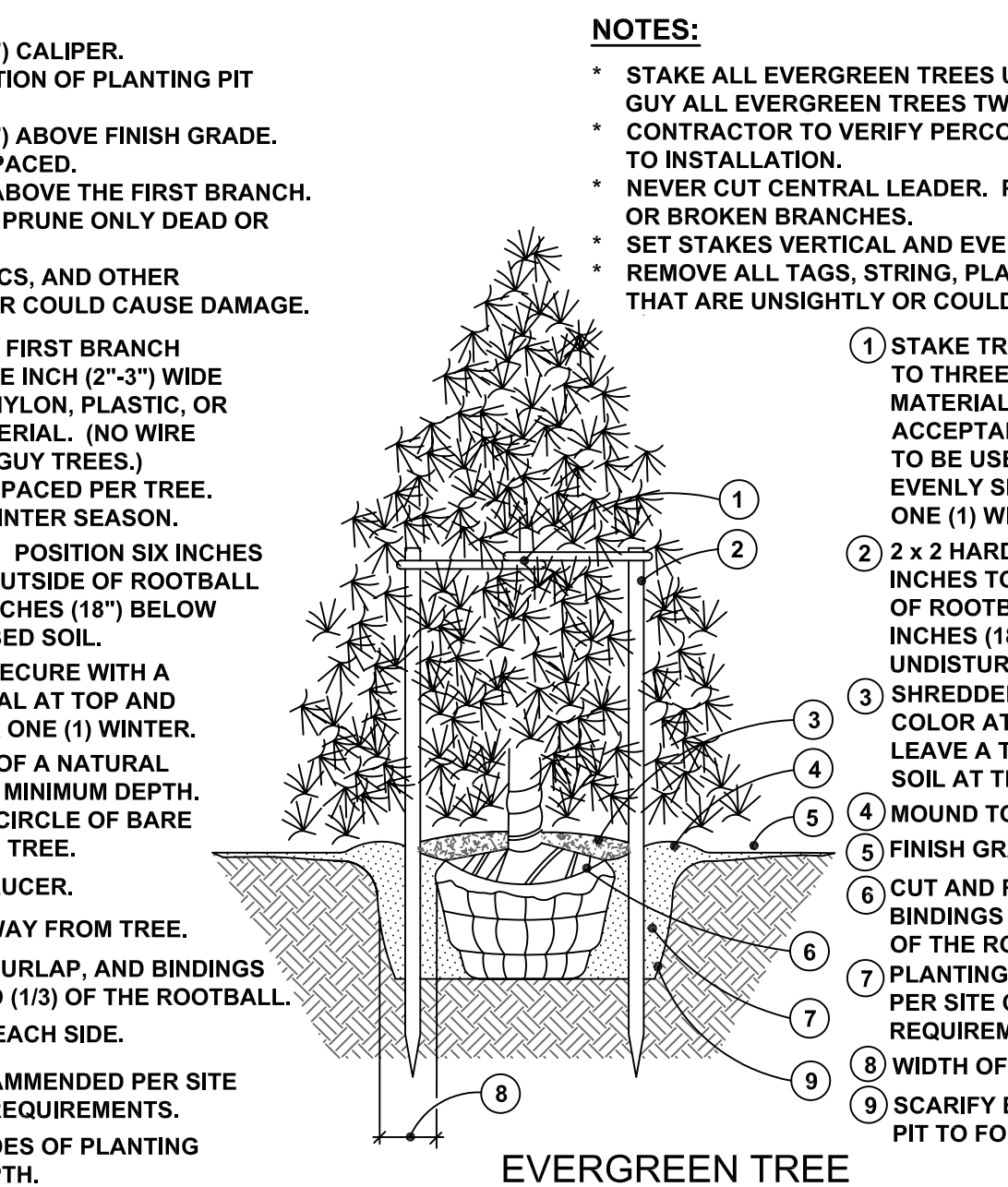
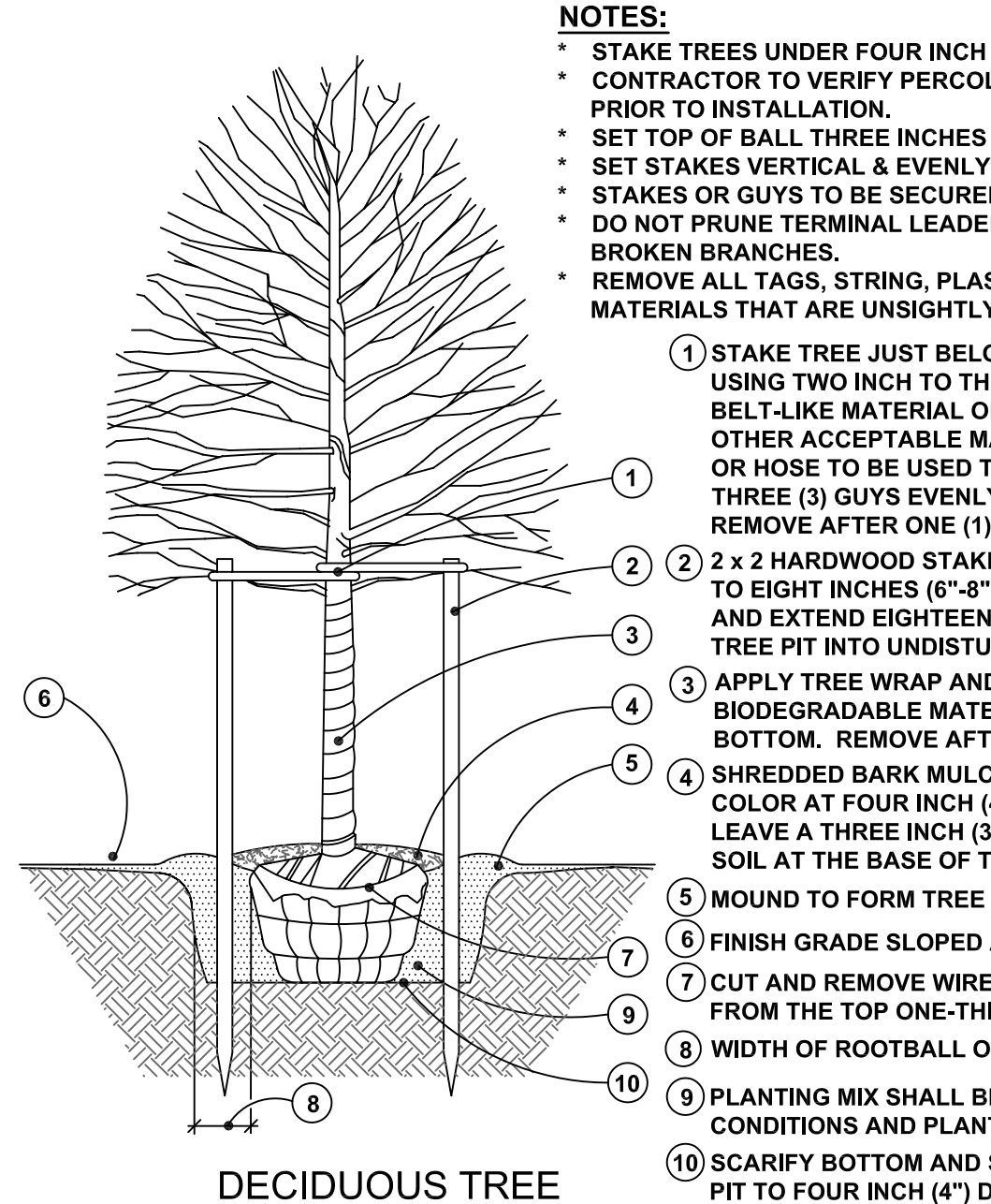
- Required landscape material shall satisfy the criteria of the American Association of Nurserymen Standards for Nursery Stock and be: a.) Northern nursery grown; b.) State Department of Agriculture inspected; c.) No. 1 grade material with a straight, unscarred trunk, and well-developed uniform crown (park grade trees will not be accepted); d.) Staked, wrapped, watered, and mulched according to the details provided; and e.) Guaranteed for one (1) year.
- Topsoil shall be friable, fertile soil of clayloam character containing at least five percent (5%) but not more than twenty percent (20%) by weight of organic matter with a pH range between 6.0 and 7.0. The topsoil shall be free from clay lumps, coarse sand, plant roots, sticks, and other foreign materials.
- The seed mixture for the lawn areas in the street rights-of-way shall consist of a Kentucky Blue Grass blend and mulched with clean straw free of noxious weed seeds. Maintenance of the right-of-way lawn area shall consist of a regular cuttings as needed. Weed content of the seed mixture shall not exceed one percent (1%). The mix shall be applied at a rate of 200 pounds per acre.
- Sod, if specified, shall be two (2) year old "Baron/Sheri/Adelphi" Kentucky Blue Grass blend grown in a sod nursery on loam soil.
- Proposed perennials shall be full, well-rooted plants.
- Callery Pear (*Pyrus calleryana*) and Norway Maple (*Acer platanoides*) shall not be substituted for any tree species in the plant list. Contact the Landscape Architect for acceptable plant substitutions.
- Cobblestone mulch shall consist of two inch to six inch (2"-6") cobbles eight (8") deep with geotextile beneath.

GENERAL

- Do not plant deciduous or evergreen trees directly over utility lines or under overhead wires. Maintain a six foot (6') distance from the centerline of utilities and twenty feet (20') from the centerline of overhead wires for planting holes. Call MISS DIG forty-eight (48) hours prior to landscape construction for field location of utility lines.
- The Contractor agrees to guarantee all plant material for a period of one (1) year. At that time, the Owner's representative reserves the right for a final inspection. Plant material with twenty-five percent (25%) die back, as determined by the Owner's representative shall be replaced. This guarantee includes the furnishing of new plants, labor, and materials. These new plants shall also be guaranteed for a period of one (1) year.
- The work shall consist of providing all necessary materials, labor, equipment, tools, and supervision required for the completion as indicated on the drawings.
- Landscape areas shall be irrigated by an automatic underground irrigation system. Lawns and shrub/landscape areas shall be watered by separate zones to minimize overwatering.
- All written dimensions override scale dimensions on the plans.
- All substitutions or deviations from the landscape plan must be approved by the Village of Pinckney prior to installation.
- All bidders must inspect the site and report any discrepancies to the Owner's representative.
- All specifications are subject to change due to existing conditions.
- The Owner's representative reserves the right to approve all plant material.

MAINTENANCE

- The Owner of the landscaping shall perpetually maintain such landscaping in good condition so as to present a healthy, neat, and orderly appearance, free from refuse and debris.
- The Owner shall conduct a seasonal landscape maintenance program including regular lawn cutting (at least once per week during the growing season), pruning at appropriate times, watering, and snow removal during winter.
- The Contractor is responsible for watering and maintenance of all seed areas until a minimum of ninety percent (90%) coverage, as determined by the Owner's representative.
- All diseased and/or dead material shall be removed within sixty (60) days following notification and shall be replaced within the next appropriate planting season or within one (1) year, whichever comes first.
- Any debris such as lawn clippings, fallen leaves, fallen limbs, and litter shall be removed from the site on a weekly basis at the appropriate season.
- All planting beds shall be maintained by removing weeds, fertilizing, and replenishing mulch as needed.

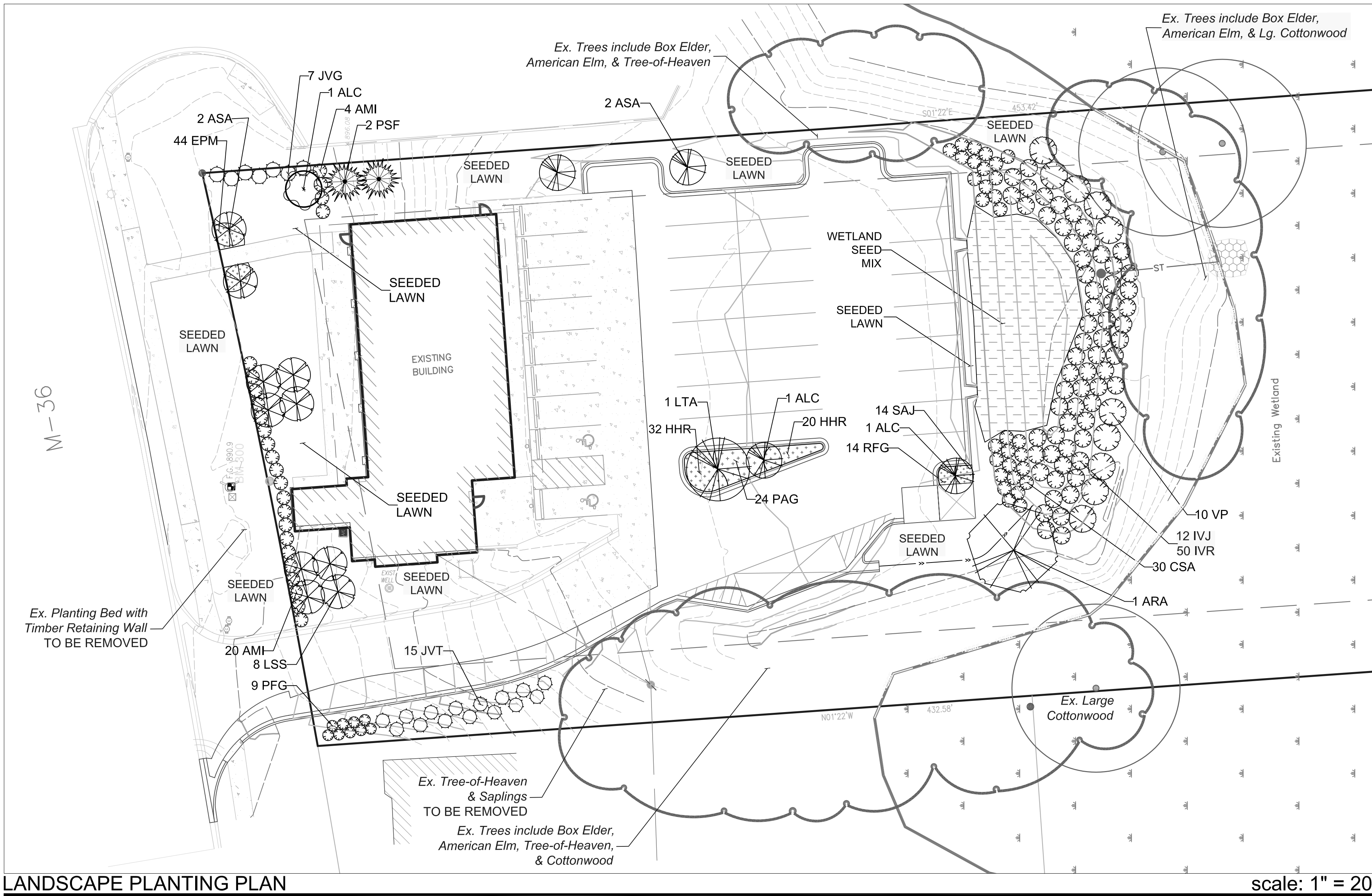


SEED MIX COMPOSITION

WETLAND SEED MIX
MICHIGAN WILDFLOWER FARM
A composition of wildflowers, sedges, and grasses.
Application rate: 3 oz. per 1000sq. ft. or 7 lbs. per acre

BOTANICAL NAME	COMMON NAME
Wildflowers	
<i>Asclepias incarnata</i>	Swamp Milkweed
<i>Aster novae-angliae</i>	New England Aster
<i>Aster puniceus</i>	Swamp Aster
<i>Aster umbellatus</i>	Flat-Top Aster
<i>Eupatorium maculatum</i>	Joe-Pye Weed
<i>Eupatorium perfoliatum</i>	Boneset
<i>Euthamia graminifolia</i>	Grassleaved Goldenrod
<i>Liatris spicata</i>	Marsh Blazing Star
<i>Pedicularis lanceolata</i>	Swamp Betony
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan
<i>Silphium perfoliatum</i>	Cupplant
<i>Solidago patula</i>	Prairie Dock
<i>Solidago riddellii</i>	Swamp Goldenrod
<i>Verbena hastata</i>	Ridell's Goldenrod
<i>Vernonia missouriica</i>	Blue Vervain
<i>Veronicastrum virginicum</i>	Ironweed
<i>Culver's Root</i>	
Sedges/Grasses	
<i>Andropogon gerardii</i>	Big Bluestem
<i>Carex crinita</i>	Fringed Sedge
<i>Carex stricta</i>	Tussock Sedge
<i>Scirpus cyperinus</i>	Wool Grass
<i>Scirpus atrovirens</i>	Bulrush

MICHIGAN WILDFLOWER FARM
11770 Cutler Road
Portland, Michigan 48875-9452
(517) 647-6010



DETENTION POND LANDSCAPE NOTES:

- PLANTING:**
- Follow the Supplier's recommended procedures for bed preparation, installation, and soil erosion control measures of the proposed seeded areas. After the plants germinate and begin to grow follow the maintenance guidelines included on this sheet.
 - Rototill four inches (4") of compost or topsoil into the top six inches (6") of the surface of the basin.
 - Provide a cover crop of annual rye at a rate of ten pounds (10#) per acre and seed oats at a rate of thirty pounds (30#) per acre over the entire area to be seeded.
 - ESTABLISHMENT: During the first growing season, the native seed areas should be mowed two (2) to four (4) times to a height of four inches to six inches (4"-6") when the plants reach a height of ten inches to twelve inches (10"-12"). Hand pulling may be needed to control unwanted weed populations.
 - WATERING: Watering should be performed as needed.
 - EROSION CONTROL: Provide an erosion control blanket on the side slopes of the seeded areas detention area. The erosion control blanket shall be pegged in place.
 - EDGING: The edge of the detention area should be maintained with a V-notch to avoid grass growing into the detention area.
 - REMOVAL OF LITTER AND DEBRIS: Litter, trash, and debris should be removed on a regular basis to insure that inlets remain free flowing

LANDSCAPE CALCULATIONS

BUFFER AREA LANDSCAPING

- A landscape buffer at least six feet (6') in width shall be provided along all lot lines that abut a residential district or use

LANDSCAPING ADJACENT TO ROADS - M-36

- One (1) deciduous tree / 30 l.f. = 5.44 = 6 trees
- Five (5) shrubs / 40 l.f. = 27.19 = 28 shrubs

LANDSCAPING OFF-STREET PARKING LOTS (38 spaces)

Interior Parking Lot Landscaping

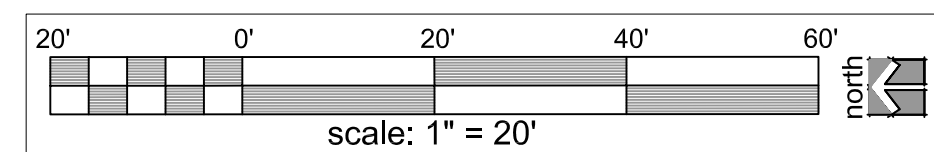
- One (1) deciduous tree shall be planted for every eight (8) parking spaces equals 4.75 trees = 5 trees

Perimeter Parking Lot Landscaping

- A landscaped buffer area shall be provided to form a visual screen that is at least six feet (6') high and eighty percent (80%) opaque along its entire length with at least fifty percent (50%) of the trees within the buffer consisting of evergreens
- Buffering for perimeter parking lot landscaping accomplished with the existing wetland and existing tree groupings

PLANT LIST

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
BUFFER LANDSCAPING ADJACENT SINGLE FAMILY RESIDENTIAL				
JVT	15	<i>Juniper virginiana</i> 'Taylor'	Taylor Upright Juniper	5' - 6' ht. B&B
LANDSCAPING ADJACENT TO ROADS - M-36				
AMI	14	<i>Aronia melanocarpa</i> 'Iroquois Beauty'	Iroquois Beauty Chokeberry	24" ht., 3 gal. pot
JVG	7	<i>Juniper virginiana</i> 'Greguard'	Grey Guardian Spr. Juniper	24" spr., 3 gal. pot
LSS	4	<i>Liquidambar styraciflua</i> 'Slender Silhouette'	Slender Silhouette Sweetgum	2-1/2" cal. B&B
PSF	2	<i>Pinus strobus</i> 'Fastigiata'	Fastigiate Eastern White Pine	6' ht. B&B
PFG	9	<i>Potentilla fruticosa</i> 'Fargo'	Dakota Sunspot Potentilla	24" ht., 3 gal. pot
PARKING LOT LANDSCAPING				
ALC	2	<i>Amelanchier laevis</i> 'Cumulus'	Cumulus Allegheny Serviceberry	2" cal. B&B
ASA	2	<i>Acer saccharum</i> 'Apollo'	Apollo Sugar Maple	2-1/2" cal. B&B
LTA	1	<i>Liriodendron tulipifera</i> 'Arnold'	Fastigiate Tuliptree	2-1/2" cal. B&B
HHR	52	<i>Hemerocallis</i> sp. 'Happy Returns'	Happy Returns Daylily	1 gal. pot, 30" o.c.
PAG	24	<i>Pennisetum alopecuroides</i> 'Ginger Love'	Ginger Love	1 gal. pot, 36" o.c.
RFG	14	<i>Rudbeckia fulgida</i> var. 'sullivanti'	Goldsturm Orange Coneflower	1 gal. pot, 18" o.c.
SAJ	14	<i>Sedum</i> sp. 'Autumn Joy'	Autumn Joy Sedum	1 gal. pot, 18" o.c.
ADDITIONAL LANDSCAPE PLANTING				
LANDSCAPING ADJACENT TO ROADS - M-36				
AMI	14	<i>Aronia melanocarpa</i> 'Iroquois Beauty'	Iroquois Beauty Chokeberry	24" ht., 3 gal. pot
ASA	2	<i>Acer saccharum</i> 'Apollo'	Apollo Sugar Maple	2-1/2" cal. B&B
LSS	4	<i>Liquidambar styraciflua</i> 'Slender Silhouette'	Slender Silhouette Sweetgum	2-1/2" cal. B&B
MSA	1	<i>Malus</i> sp. 'Adirondack'	Adirondack Crabapple	2" cal. B&B
EPM	44	<i>Echinacea purpureum</i> 'Magnus'	Magnus Purple Coneflower	1 gal. pot, 24" o.c.
DETENTION POND LANDSCAPING				
ARA	1	<i>Acer rubrum</i> 'Autumn Flame'	Autumn Flame Red Maple	2-1/2" cal. B&B
CSA	30	<i>Cornus sericea</i> 'Arctic Fire'	Arctic Fire Red Twig Dogwood	24" ht., 3 gal. pot
IVJ	12	<i>Ilex verticillata</i> 'Jim Dandy'	Jim Dandy Winterberry	30" ht., 3 gal. pot
IVR	50	<i>Ilex verticillata</i> 'Red Sprite'	Red Sprite Winterberry	30" ht., 3 gal. pot
VP	10	<i>Viburnum prunifolium</i>	Blackhaw Viburnum	36" ht., 5 gal. pot



LANDSCAPE PLAN FOR:
Livingston Engineering
3300 South Old U.S. 23
Brighton, Michigan 48114
(810) 225-7100

PROJECT LOCATION:
C3 Provisioning
1066 East M-36
Village of Pinckney,
Michigan

LANDSCAPE PLAN BY:
Nagy Devlin Land Design
31736 West Chicago Ave
Livonia, Michigan 48150
(734) 634 9208

STATE OF MICHIGAN
J. BRIAN DEVLIN
NO. 1260
LICENSED LANDSCAPE ARCHITECT

J. Brian Devlin
AUTOCAD SIGNATURE
ORIGINAL IN BLUE

date: March 23, 2026
revised:
04-17-2026 Revise for site plan changes & additional greenbelt plantings.
04-23-2026 Revise for site plan changes.



not to scale

LP-1 LANDSCAPE PLANTING PLAN

* Base data provided by Livingston Engineering.

PHOTOMETRIC PLAN

enVisionLED
WWW.ENVISIONLEDLIGHTING.COM

ARCY-Line: CADM Commercial Downlights
2-Piece Design + Adjustable Beam Angle

DL Fixture

Black Trim Reflector Square Reflector

D-Series Size 2 LED Area Luminaire

d^{series}

DLC LISTED PREMIUM DLC LISTED PREMIUM ENERGY STAR GREENGUARD GREENGUARD CERTIFIED GREENGUARD ICED GREENGUARD ICED GREENGUARD ICED

ds BAA BABA

Specifications

EPA: 1.06 ft² (0.10 m²)

Length: 40.59" (103.1 cm)

Width: 16.76" (42.6 cm)

Height H1: 8.11" (20.6 cm)

Height H2: 3.96" (10.1 cm)

Weight: 46 lbs (20.9 kg)

A3 A4 Fixture

Design Select options indicated by this color background.

ORACLE LIGHTING **W Fixture**

MULTILUMEN SELECTOR **EASY 3 COLOR SELECCTOR**
3000K • 4000K • 5000K

0° - 90° ADJUSTABILITY INTEGRATED PHOTOCELL

DIMENSIONS

Frontal View Side View

NOMINAL LUMENS	DELIVERED LUMENS	WATTAGE
4000L	3956L	30W
2800L	2744L	19W
1500L	1526L	10W

Based on 4000K, 85+ CRI. Actual wattage may vary +/-5%

PHOTOMETRIC COMPLETED BY CAPITOL LIGHT
PLEASE CONTACT QUOTES@CAPITOLLIGHT.COM FOR PRICING

CAPITOL LIGHT **JOB: C3** **LOCATION: PINCKNEY, MI**
www.capitollight.com

REVISIONS

NO.	DATE	DESCRIPTION
1	04/24/2026	PER VILLAGE

Calculation Summary

Label	Units	Min	Max	Min	Max	Avg/Min	Max/Min
FOOTCANDLE	FOOTCANDLE	4.20	7.2	0.1	42.00	42.00	72.00

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LIVINGSTON ENGINEERING
CIVIL ENGINEERING SURVEYING PLANNING
3300 S. OLD U.S. 23, BRIGHTON, MI 48114
PHONE: (810) 225-7100 FAX: (810) 225-7699
http://www.livingstoneng.com

Client
C3 INDUSTRIES
4420 Varsity Drive
Ann Arbor, MI 48108
PHONE: (734) 412-4600

QPS MICHIGAN HOLDINGS LLC
1066 E M36
VILLAGE OF PINCKNEY, LIVINGSTON COUNTY, MICHIGAN
PHOTOMETRIC PLAN

DATE
04/24/2026

REVISIONS

NO.	DATE	DESCRIPTION
1	04/24/2026	PER VILLAGE

Drawn: JDM Checked: DL Approved: Date: 04/25/2026

Job: 21163 Scale: Vertical: NA Horizontal: NA



DAMIAN
FARRELL
DESIGN
GROUP

359 METTY DRIVE, SUITE 4A
ANN ARBOR, MI 48103
tel: 734.998.1331

FOR SITE PLAN APPROVAL

C3 MI - Pinckney
1066 M-36
Pinckney, MI 48169

DATE	DESCRIPTION
04.20.2026	SITE PLAN APPROVAL

DESIGN	Designer
DRAWN	Author
PROJECT NO.	Project Number

RENDERING

A0.1



DAMIAN FARRELL DESIGN GROUP

359 METTY DRIVE, SUITE 4A
ANN ARBOR, MI 48103
tel: 734.998.1331



FOR SITE PLAN APPROVAL

C3 MI - Pinckney
1066 M-36
Pinckney, MI 48169

DATE	DESCRIPTION
04.20.2026	SITE PLAN APPROVAL

DESIGN	Designer
DRAWN	Author
PROJECT NO.	Project Number

RENDERING

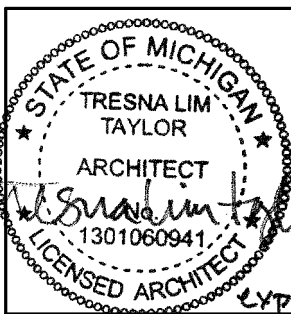
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DAMIAN FARRELL DESIGN GROUP

359 METTY DRIVE, SUITE 4A
ANN ARBOR, MI 48103
tel: 734.998.1331



3/14/2027

FOR SITE PLAN APPROVAL

C3 MI - Pinckney
1066 M-36
Pinckney, MI 48169

DATE

DESCRIPTION

DESIGN Designer
DRAWN Author
PROJECT NO. Project Number

CODE REVIEW & LIFE SAFETY PLAN

A0.3

OCCUPANCY LOAD			
FUNCTION OF SPACE	OCCUPANT LOAD FACTOR	AREA	OCCUPANCY LOAD
ACCESSORY	1/300 SF	965 SF	3.22
BUSINESS	1/150 SF	4941 SF	32.94
MERCANTILE	1/60 SF	1732 SF	28.83
TOTAL:		7638 SF	65 OCC.

FIRE SUPPRESSION SECTION 903

GROUP M: **NO SPRINKLER SYSTEM REQUIRED**
 AUTOMATIC SPRINKLER SYSTEMS REQUIRED WHERE:

- FIRE AREA EXCEEDS 12,000 SF
- FIRE AREA IS LOCATED MORE THAN THREE STORIES ABOVE GRADE PLANE
- THE COMBINED AREA OF ALL GROUP M FIRE AREAS ON ALL FLOORS, INCLUDING ANY MEZZANINES, EXCEEDS 24,000 SF.
- A GROUP M OCCUPANCY USED FOR THE DISPLAY AND SALE OF UPHOLSTERED FURNITURE OR MATTRESSES EXCEEDS 5,000 SF.

FIRE ALARM & DETECTION SYSTEMS SECTION 907

GROUP B: **NO FIRE ALARM REQUIRED**
 FIRE ALARMS REQUIRED WHERE:

- GROUP B OCCUPANT LOAD OF ALL FLOORS IS 500 OR MORE PERSONS.
- THE GROUP B OCCUPANT LOAD IS MORE THAN 100 PERSONS ABOVE OR BELOW THE LOWEST LEVEL OF EXIT DISCHARGE.
- THE FIRE AREA CONTAINS AN AMBULATORY CARE FACILITY.

GROUP M: **NO FIRE ALARM REQUIRED**
 FIRE ALARMS REQUIRED WHERE:

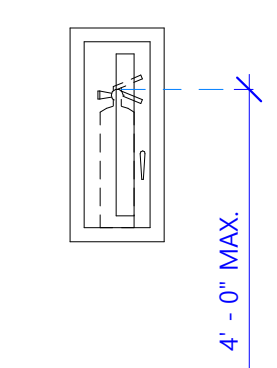
- GROUP M OCCUPANT LOAD OF ALL FLOORS IS 500 OR MORE PERSONS.
- THE GROUP M OCCUPANT LOAD IS MORE THAN 100 PERSONS ABOVE OR BELOW THE LOWEST LEVEL OF EXIT DISCHARGE.

REQUIRED FIRE SEPARATION OF OCCUPANCIES TABLE 508.4

BETWEEN GROUP B AND GROUP M: **NO SEPARATION REQUIRED**

FIRE EXTINGUISHERS TABLE 906.3

MINIMUM RATED SINGLE EXTINGUISHER: 2-A
 MAXIMUM FLOOR AREA PER UNIT OF A: 3,000 SF
 MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER: 75'



FIRE EXTINGUISHER AND CABINET MOUNTING HEIGHT

APPLICABLE CODES:
 2021 MICHIGAN BUILDING CODE
 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
 2015 MICHIGAN MECHANICAL CODE
 2021 MICHIGAN PLUMBING CODE
 2015 MICHIGAN ENERGY CODE
 MICHIGAN ELECTRICAL CODE BASED ON THE 2023 NATIONAL ELECTRICAL CODE WITH PART 8 STATE AMENDMENTS
 ICC / ANSI A117.1 - 2009 & MICHIGAN BARRIER FREE DESIGN LAW OF PUBLIC ACT 1 OF 1966 AS AMENDED.

CODE REVIEW

PROPOSED METHOD OF COMPLIANCE: PRESCRIPTIVE
 ALTERATION LEVEL: 3

PREVIOUS OCCUPANCY CLASSIFICATION:

PROPOSED OCCUPANCY CLASSIFICATION: MERCANTILE/ BUSINESS

MAXIMUM ALLOWABLE AREA (SF):		TABLE 503
M	MERCANTILE	9,000 SF
B	BUSINESS	9,000 SF

CONSTRUCTION TYPE: VB CHAP. 6

MAX. TRAVEL DISTANCE: TABLE 1016.2
 MAX. ALLOWABLE TRAVEL DISTANCE w/o SPRINKLERS:
 GROUP M - MERCANTILE 200 ft.

MEANS OF EGRESS SIZING (BASED ON OCC. LOAD): SECTION 1005.3.2
 0.2 (65 OCC.) = 13 OCC.

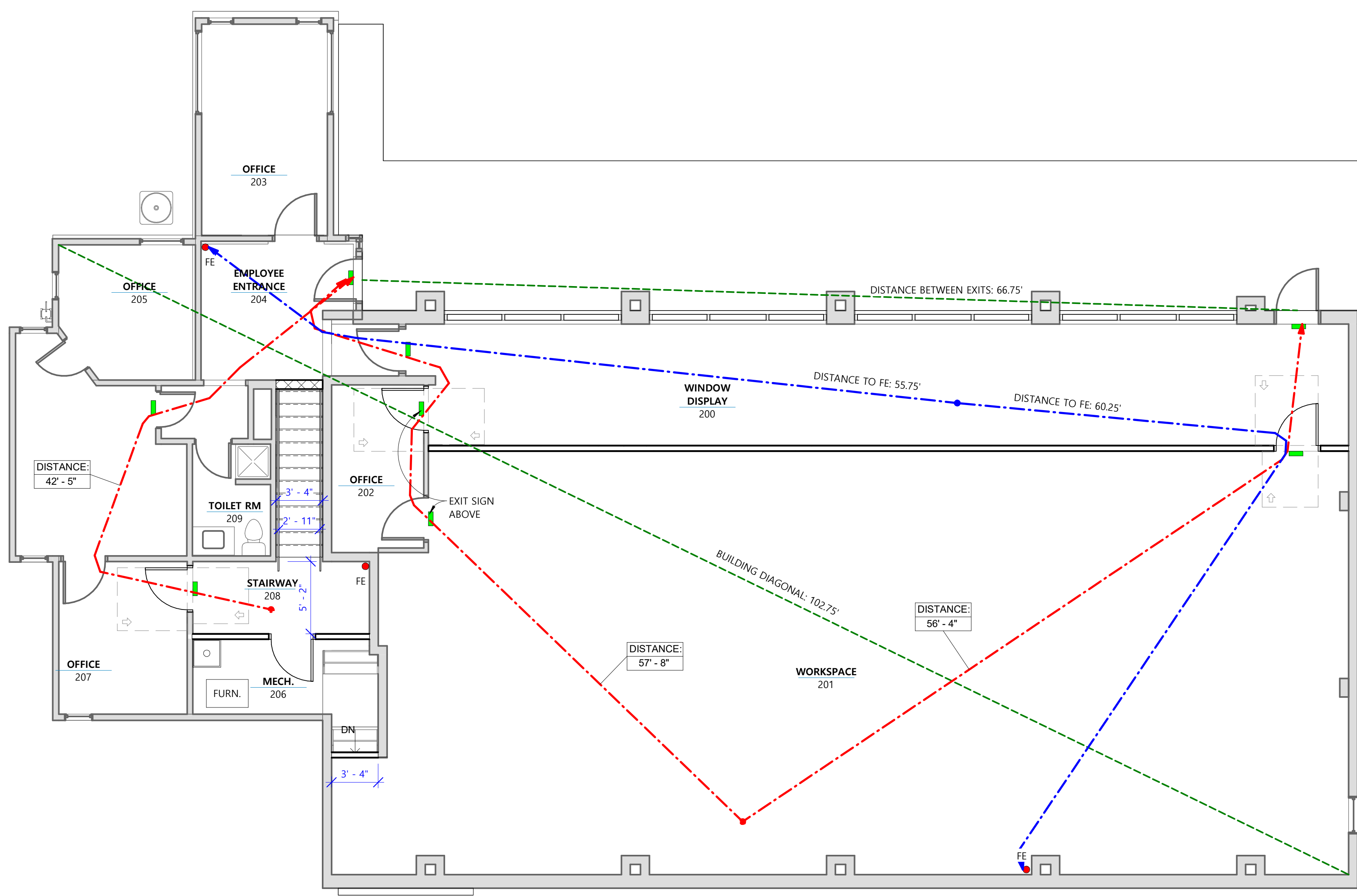
MINIMUM CORRIDOR WIDTH: 44" TABLE 1020.2

MINIMUM DOOR SIZE: 32" CLEAR SECTION 1010.1.1

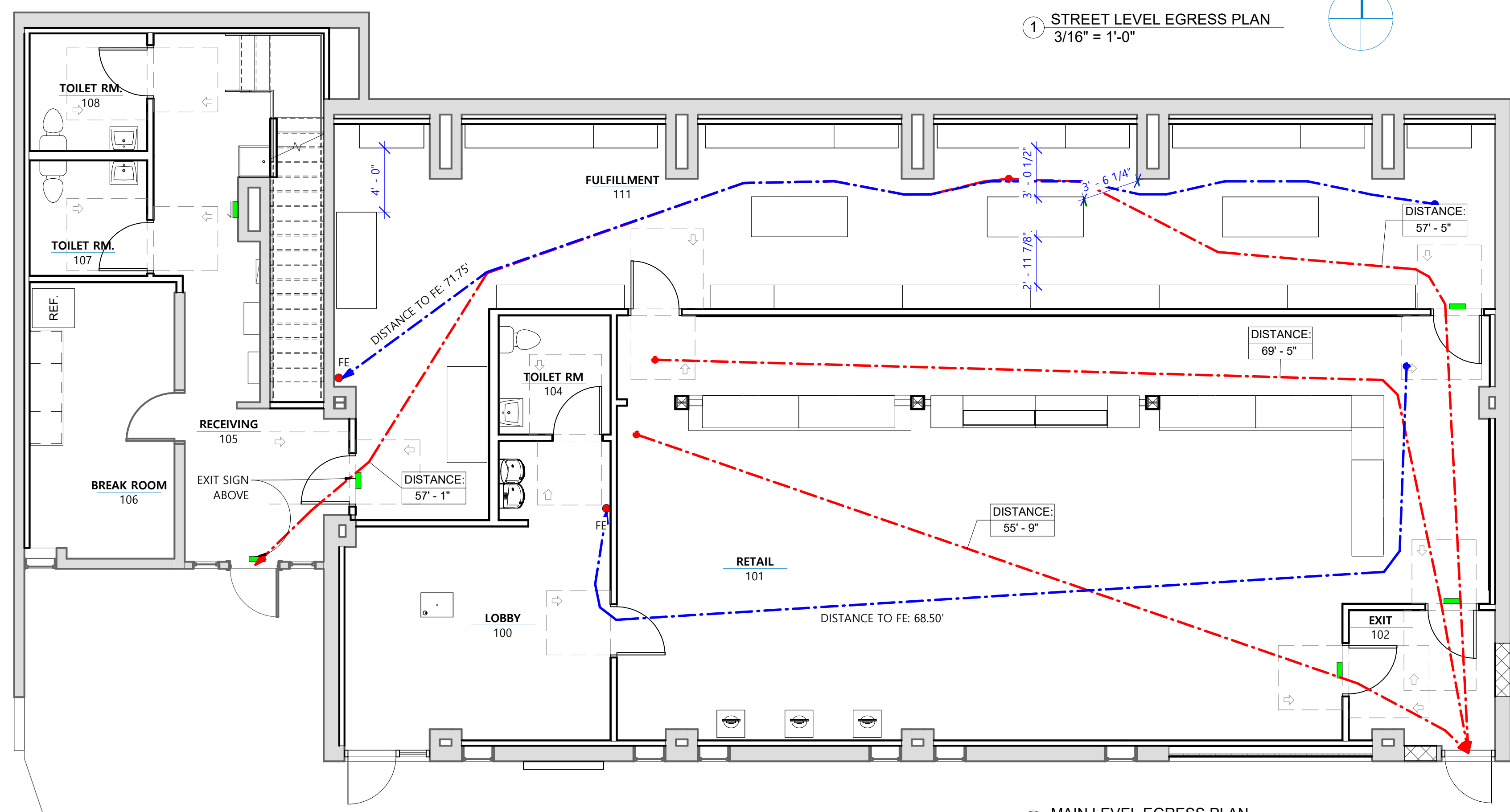
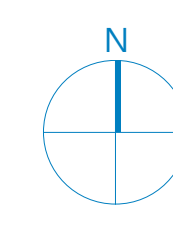
DEAD END CORRIDORS: SECTION 1018.4
 MAX. ALLOWABLE w/o SPRINKLERS: 20 ft.

OCCUPANCY CALCULATION: TABLE 1004.1.2

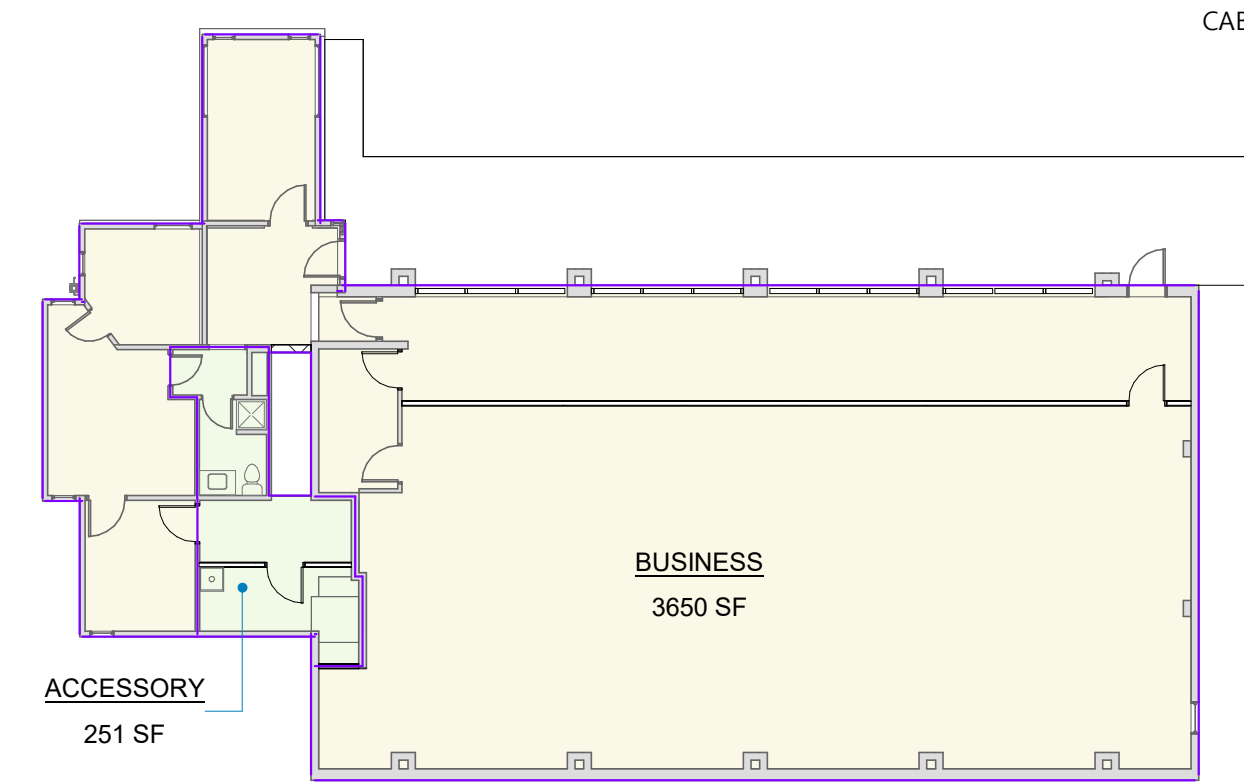
PLUMBING CALCULATIONS				
	WATER CLOSETS	LAVATORIES	DRINKING FOUNTAINS	SERVICE SINK
B - BUSINESS (34 OCC.)	1.36 (1 PER 25 OCC.)	0.85 (1 PER 40 OCC.)	0.34 (1 PER 100 OCC.)	1
M-MERCANTILE (31 OCC.)	0.062 (1 PER 500 OCC.)	0.04 (1 PER 750 OCC.)	0.03 (1 PER 1000 OCC.)	1
TOTAL REQUIRED	2	1	1	2
TOTAL PROVIDED	4	4	1 HIGH-LOW	2



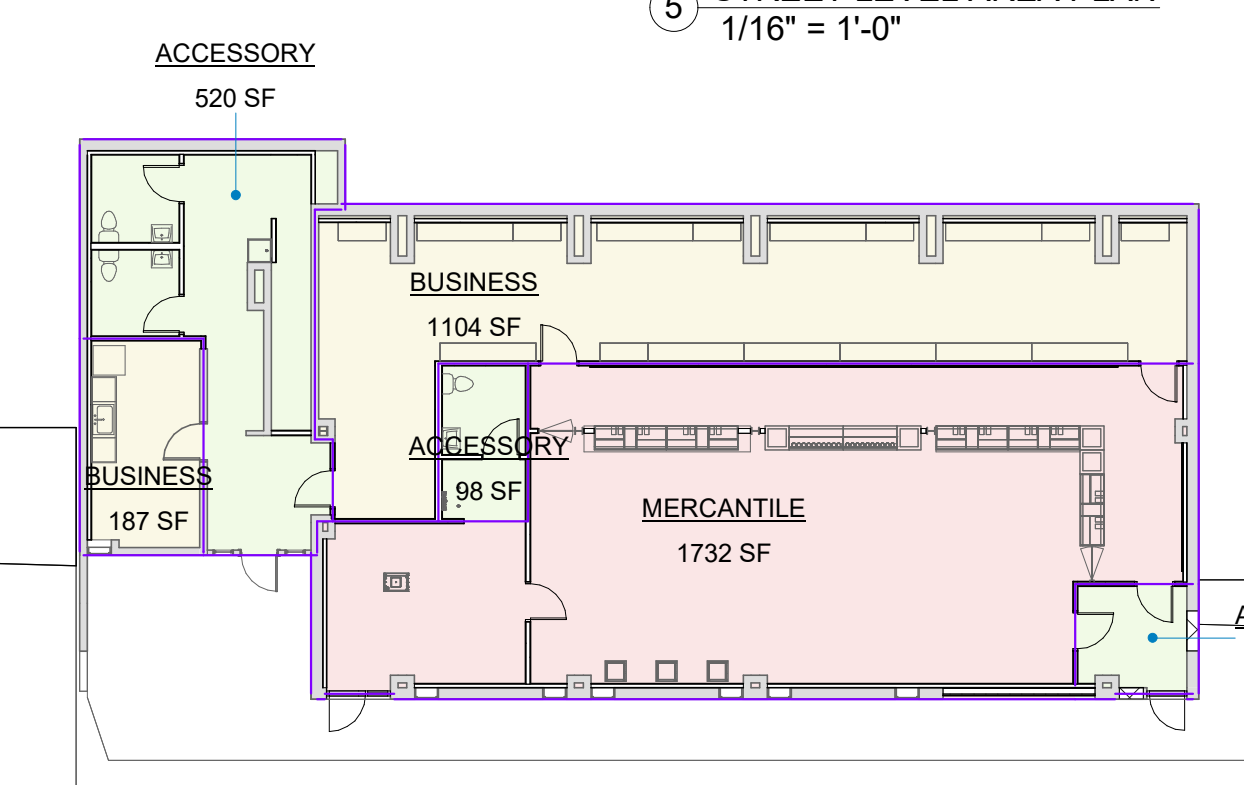
1 STREET LEVEL EGRESS PLAN
3/16" = 1'-0"



2 MAIN LEVEL EGRESS PLAN
3/16" = 1'-0"



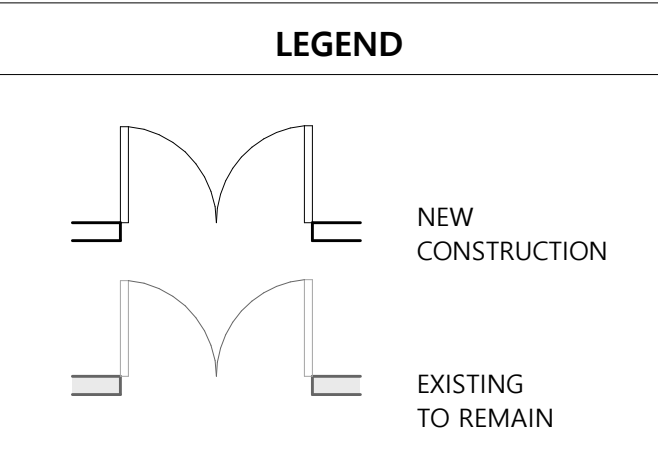
5 STREET LEVEL AREA PLAN
1/16" = 1'-0"



4 MAIN LEVEL AREA PLAN
1/16" = 1'-0"

AREA LEGEND

- ACCESSORY
- BUSINESS
- MERCANTILE

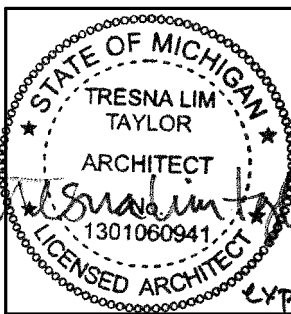


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DAMIAN
FARRELL
DESIGN
GROUP

359 METTY DRIVE, SUITE 4A
ANN ARBOR, MI 48103
tel: 734.998.1331



9/4/2027

FOR SITE PLAN APPROVAL

C3 MI - Pinckney
1066 M-36
Pinckney, MI 48169

DATE
04.20.2026

DESCRIPTION
SITE PLAN APPROVAL

DESIGN Designer
DRAWN Author
PROJECT NO. Project Number

MAIN LEVEL PLAN

A1.0

GENERAL NOTES

1. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR SPECIFIC INFORMATION.
2. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
3. DASHED LINES INDICATE REQUIRED ADA CLEARANCES.
4. VERIFY ALL DIMENSIONS WITH EXISTING CONDITIONS.

WALL TYPES LEGEND

TAG / VISUAL	DESCRIPTION
A	5/8" GYPSUM BOARD ON EACH SIDE OF 3 5/8" METAL STUDS @ 16" O.C. TYP.
B	5/8" GYPSUM BOARD ON ONE SIDE OF 3 5/8" METAL STUDS @ 16" O.C. TYP.
C	5/8" GYPSUM BOARD ON EACH SIDE OF 6" METAL STUDS @ 16" O.C. TYP.
D	CMU TO MATCH EXISTING
	FIBERGLASS BATT INSULATION, SEE BUILDING ENVELOPE SCHEDULE

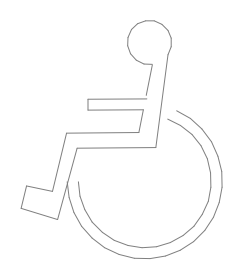
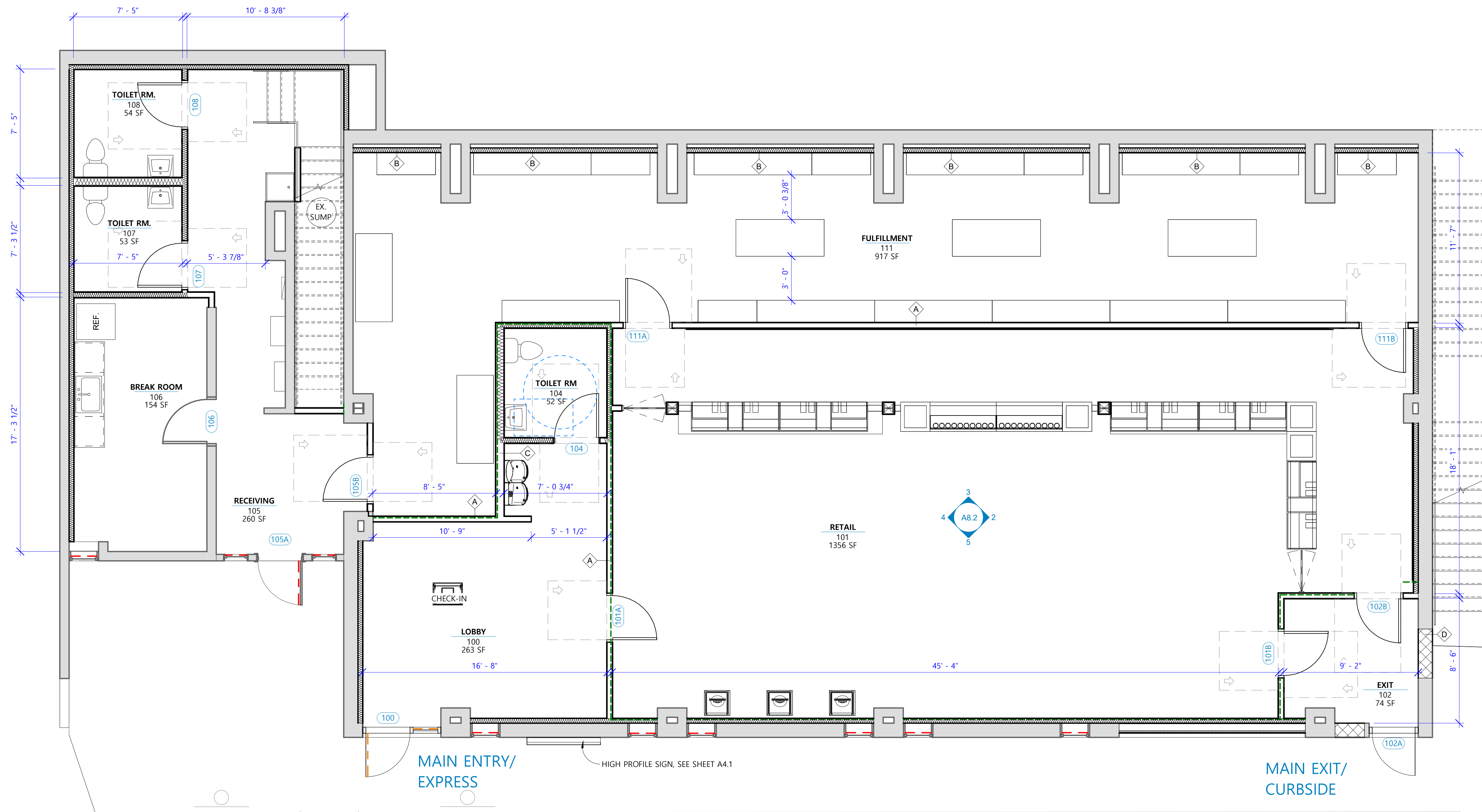
NOTE: SEE INTERIOR ELEVATIONS FOR TILE & FRP LOCATIONS

	CUSTOM WALL GRAPHICS
	13 GA. BM-50 SECURITY MESH
	SF MATTE 12 MIL I - SAFETY & SECURITY INTERIOR FILM
	SF CLEAR 12 MIL I - SAFETY & SECURITY INTERIOR FILM

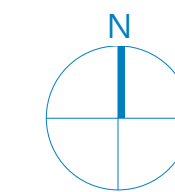
THE GENERAL CONTRACTOR SHALL SELECT METAL STUDS OF APPROPRIATE GAUGE PER THE "SSMA PRODUCT TECHNICAL INFORMATION" MANUAL, LIMITING WALL HEIGHT TABLES FOR INTERIOR NON-STRUCTURAL PARTITIONS. USE 5 PSF LATERAL LOAD AND A MAX DEFLECTION OF L/240.

LEGEND

	NEW CONSTRUCTION
	EXISTING TO REMAIN



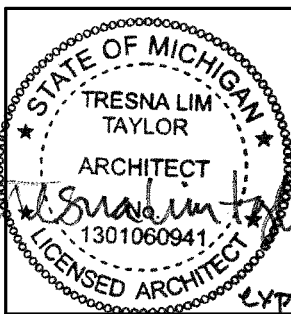
1 MAIN LEVEL PLAN
1/4" = 1'-0"





DAMIAN FARRELL DESIGN GROUP

359 METTY DRIVE, SUITE 4A
ANN ARBOR, MI 48103
tel: 734.998.1331



3/14/2027

FOR SITE PLAN APPROVAL

C3 MI - Pinckney
1066 M-36
Pinckney, MI 48169

DATE 04.20.2026
DESCRIPTION SITE PLAN APPROVAL

DESIGN Designer
DRAWN Author
PROJECT NO. Project Number

STREET LEVEL PLAN

A1.1

GENERAL NOTES

- REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR SPECIFIC INFORMATION.
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
- DASHED LINES INDICATE REQUIRED ADA CLEARANCES.
- VERIFY ALL DIMENSIONS WITH EXISTING CONDITIONS.

WALL TYPES LEGEND	
TAG / VISUAL	DESCRIPTION
⬠	5/8" GYPSUM BOARD ON EACH SIDE OF 3 5/8" METAL STUDS @ 16" O.C. TYP.
⬡	5/8" GYPSUM BOARD ON ONE SIDE OF 3 5/8" METAL STUDS @ 16" O.C. TYP.
⬢	5/8" GYPSUM BOARD ON EACH SIDE OF 6" METAL STUDS @ 16" O.C. TYP.
⬤	CMU TO MATCH EXISTING
	FIBERGLASS BATT INSULATION, SEE BUILDING ENVELOPE SCHEDULE

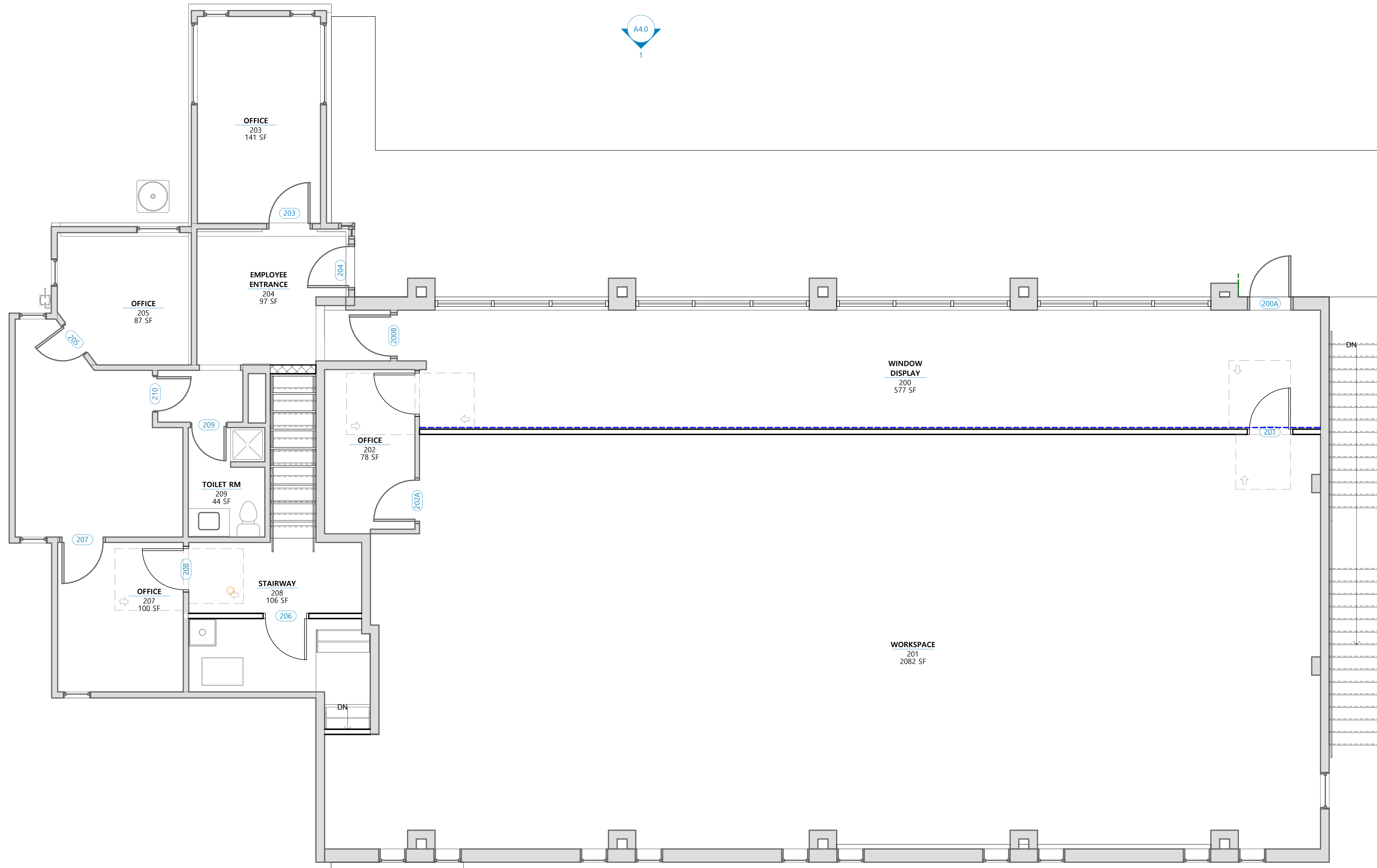
NOTE: SEE INTERIOR ELEVATIONS FOR TILE & FRP LOCATIONS

	CUSTOM WALL GRAPHICS
	13 GA. BM-50 SECURITY MESH
	SF MATTE 12 MIL I - SAFETY & SECURITY INTERIOR FILM
	SF CLEAR 12 MIL I - SAFETY & SECURITY INTERIOR FILM

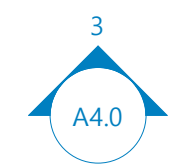
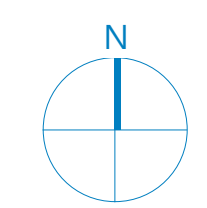
THE GENERAL CONTRACTOR SHALL SELECT METAL STUDS OF APPROPRIATE GAUGE PER THE "SSMA PRODUCT TECHNICAL INFORMATION" MANUAL, LIMITING WALL HEIGHT TABLES FOR INTERIOR NON-STRUCTURAL PARTITIONS. USE 5 PSF LATERAL LOAD AND A MAX DEFLECTION OF L/240.

LEGEND

	NEW CONSTRUCTION
	EXISTING TO REMAIN



1 STREET LEVEL PLAN
1/4" = 1'-0"

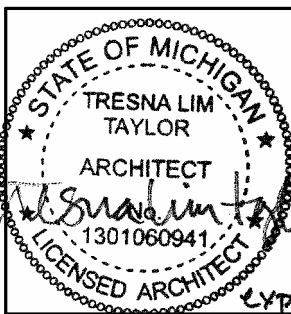


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DAMIAN FARRELL DESIGN GROUP

359 METTY DRIVE, SUITE 4A
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tel: 734.998.1331



3/4/2027

FOR SITE PLAN APPROVAL

C3 MI - Pinckney
1066 M-36
Pinckney, MI 48169

DATE	DESCRIPTION
04.20.2026	SITE PLAN APPROVAL
04.24.2026	REV. 1

DESIGN	Designer
DRAWN	Author
PROJECT NO.	Project Number

ELEVATIONS

A4.0

MATERIAL LEGEND	
TAG	DESCRIPTION
1	PAINT EXISTING CMU, SHERWIN WILLIAMS BEDROCK. REPAIR IF NECESSARY.
2	INFILL OPENING TO MATCH EXISTING CMU.
3	PAINT EXISTING SIDING, SHERWIN WILLIAMS BEDROCK. REPAIR IF NECESSARY.
4	PROPOSED ADA COMPLIANT STOREFRONT DOOR W/ BLACK FRAME
5	PROPOSED SIGN LOCATION, SEE SHEET A4.2
6	PROPOSED CLEAR GLASS STOREFRONT W/ BLACK FRAME
7	INFILL EXISTING OPENING W/ FIBER CEMENT PANELS, PAINT TO BE SHERWIN WILLIAMS BEDROCK.
8	IMPERIAL MARQUEE AWNING W/ SUPPORTS & DOWNSPOUTS - BLACK. OR APPROVED SIM.
9	PROPOSED PRE-FABRICATED STAIRCASE

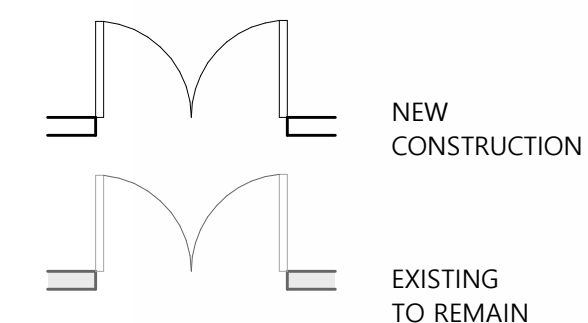


SHERWIN WILLIAMS BEDROCK

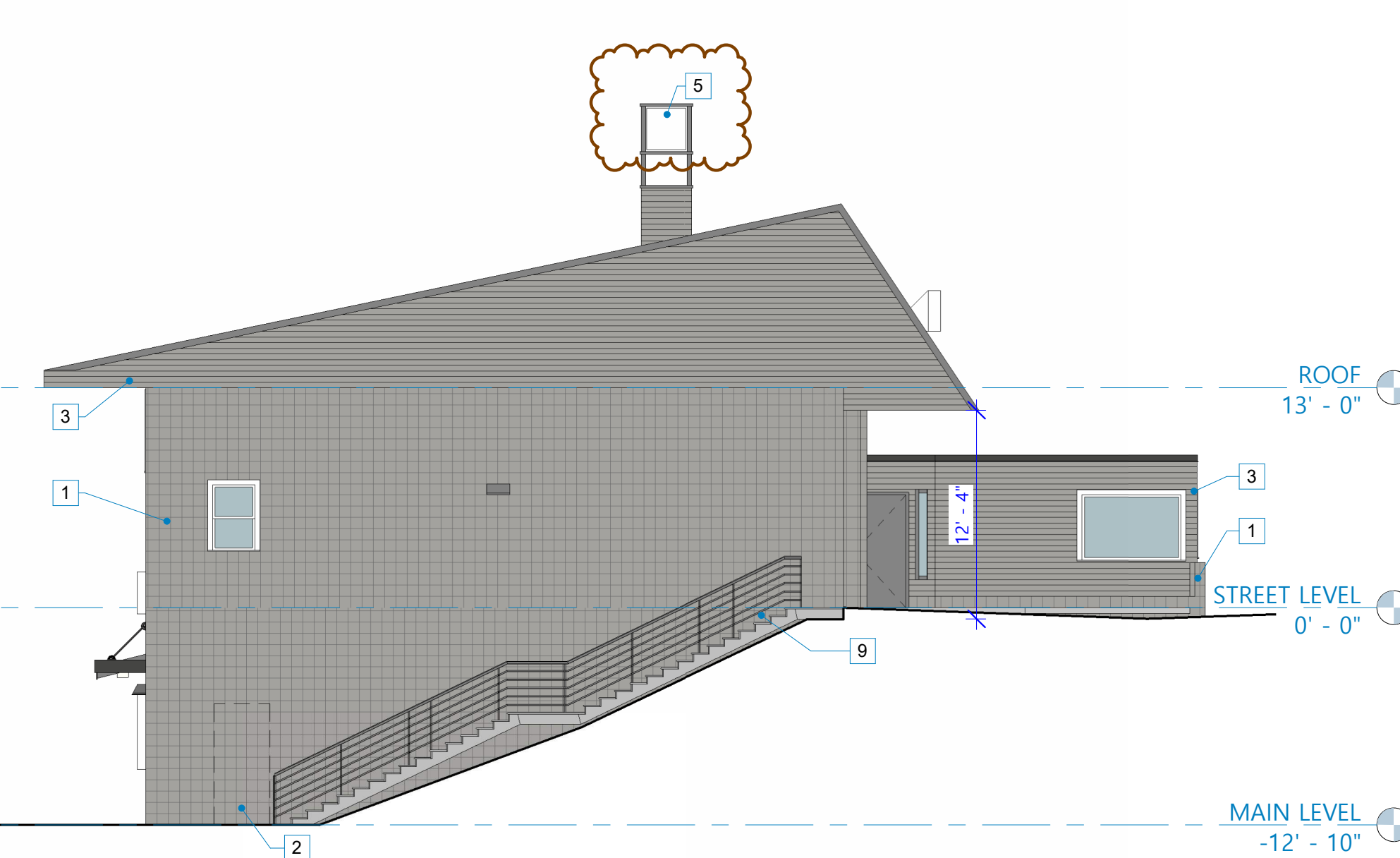


SHERWIN WILLIAMS IRON ORE

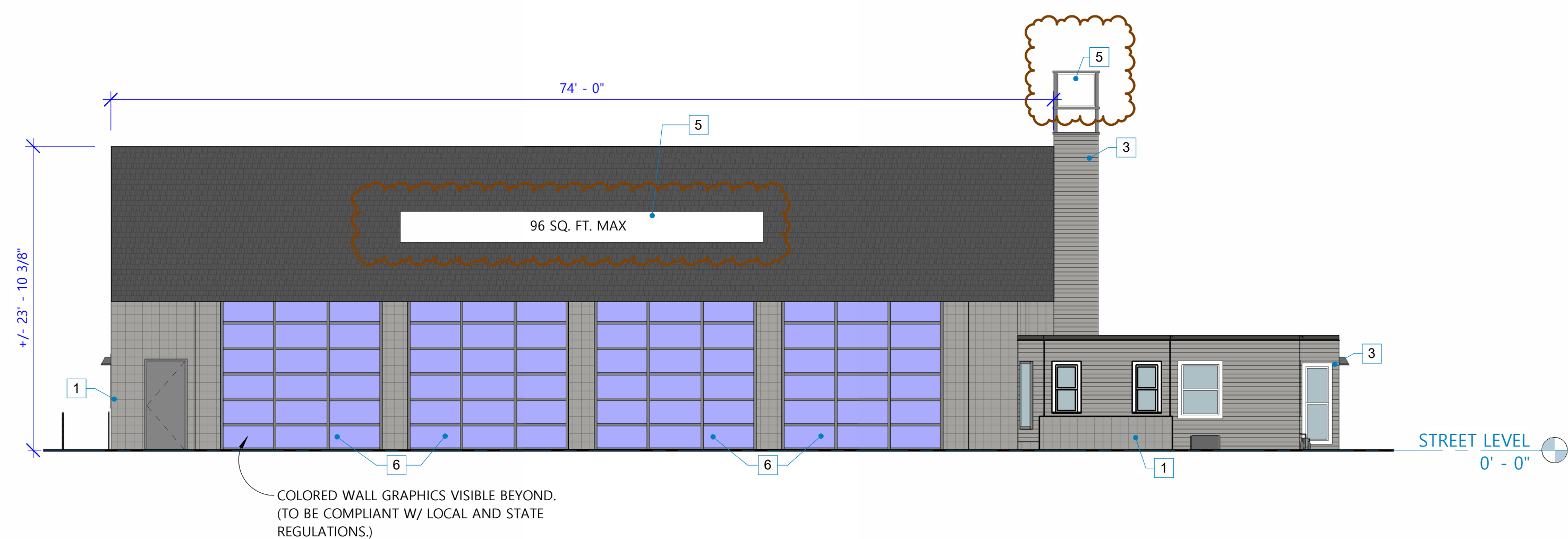
LEGEND



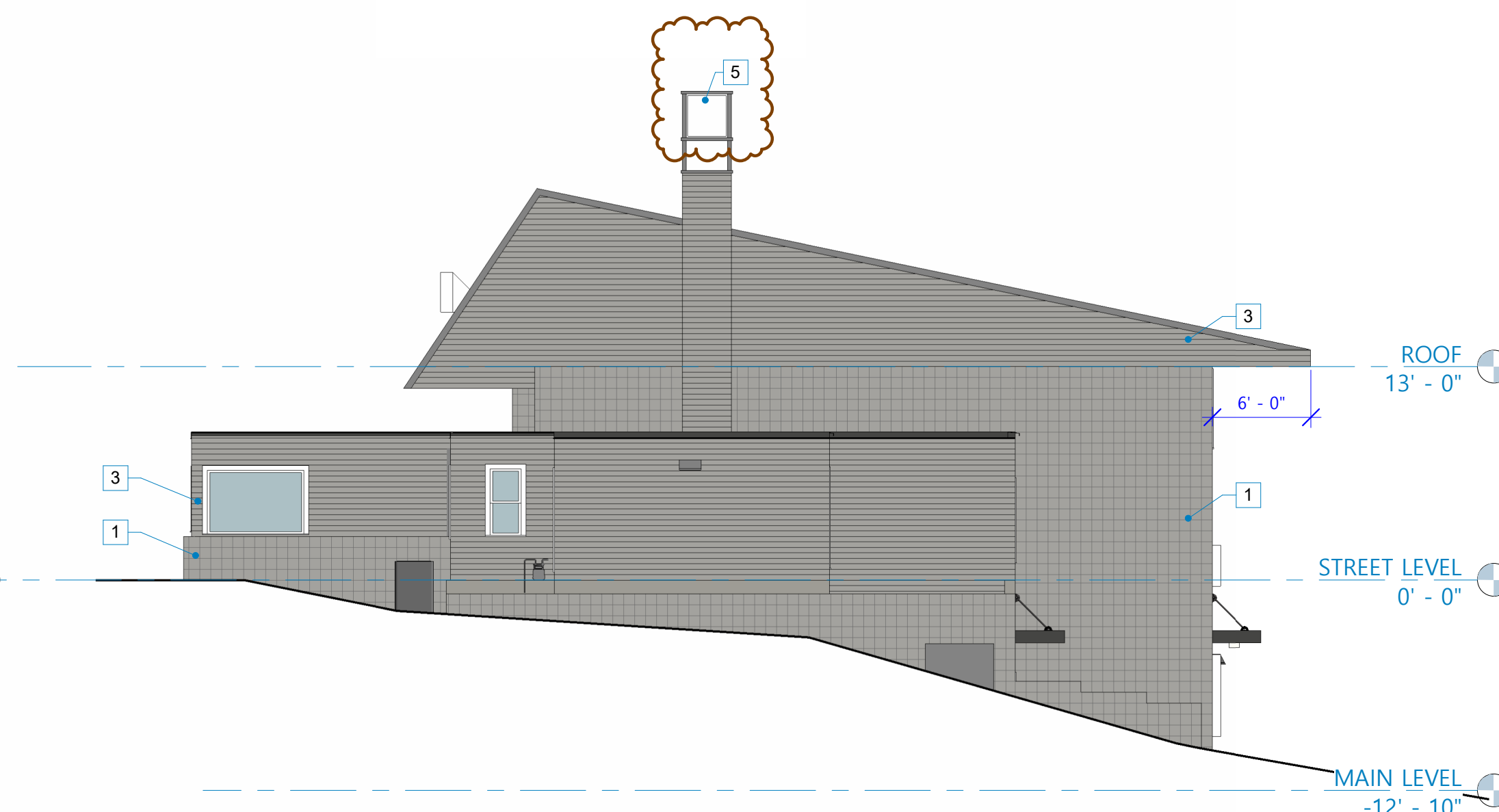
3 SOUTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



1 NORTH ELEVATION
1/8" = 1'-0"

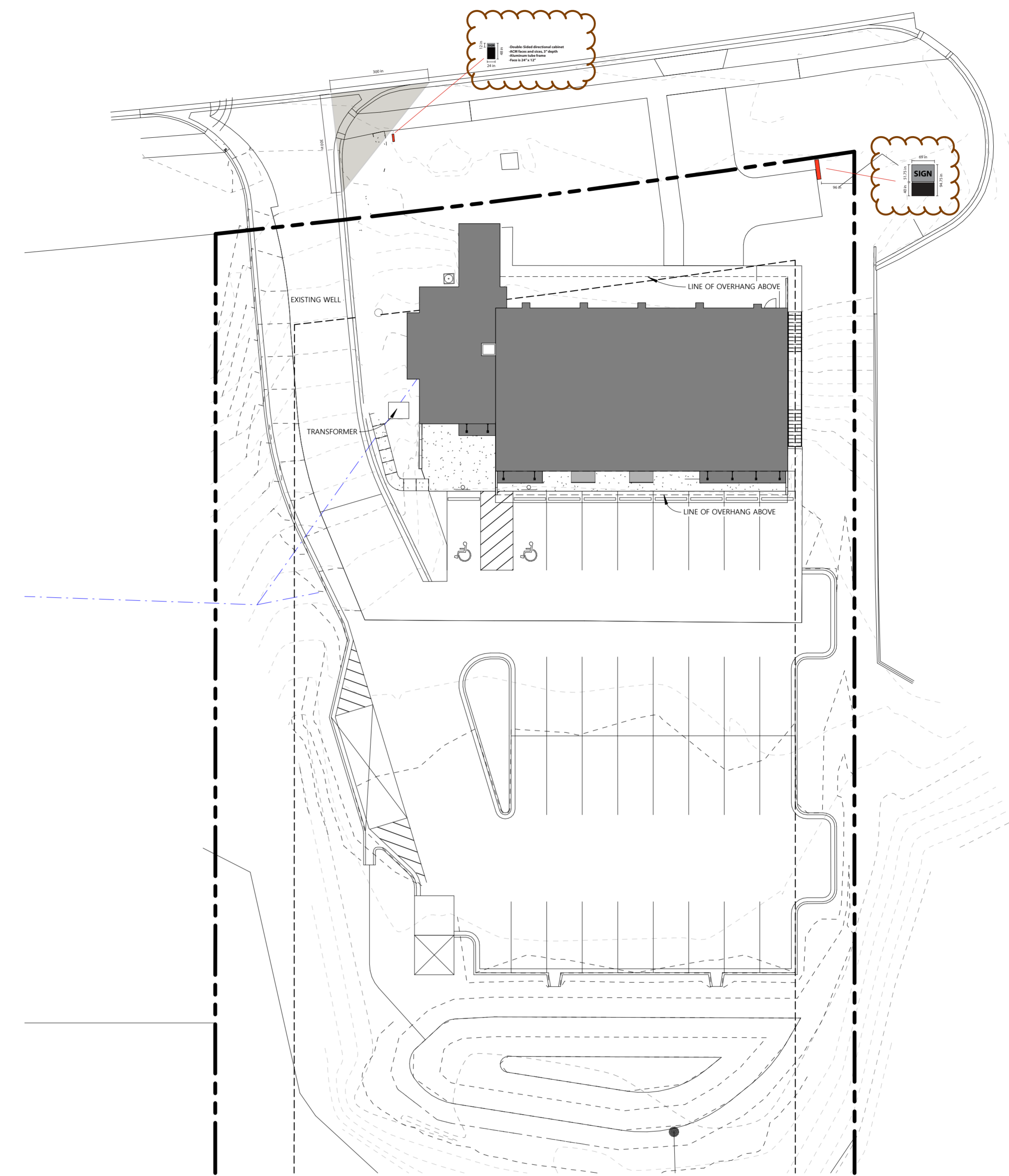


4 WEST ELEVATION
1/8" = 1'-0"

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- EXISTING BUILDING TO BE RENOVATED
- PROPOSED CONCRETE DRIVE
- EXISTING CONCRETE
- PROPOSED GREEN SPACE
- EXISTING GREEN SPACE
- PROPERTY LINE
- SETBACK LINE
- EXISTING OVERHEAD LINES

QPS Michigan Holdings LLC Village of Pinckney, MI



FOR SITE PLAN APPROVAL

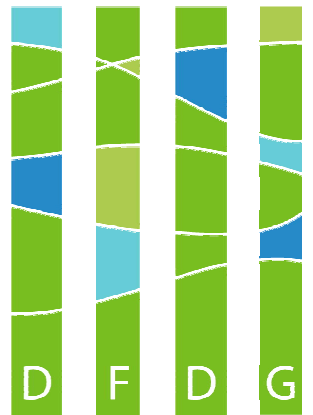
C3 MI - Pinckney
1066 M-36
Pinckney, MI 48169

04.20.2026
04.24.2026 SITE PLAN APPROVAL
REV. 1

Designer
Author
Project Number

SIGN SITE PLAN

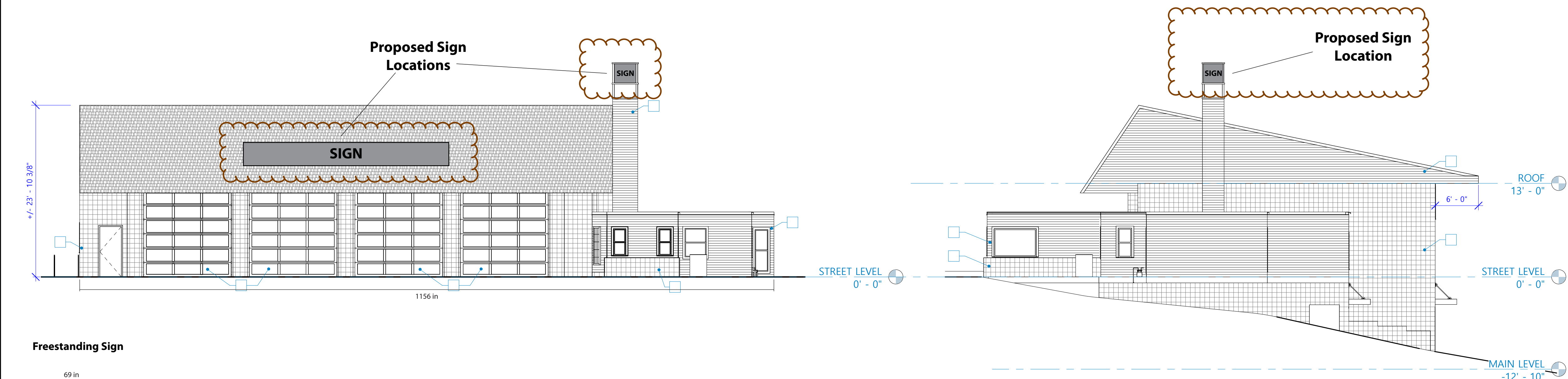
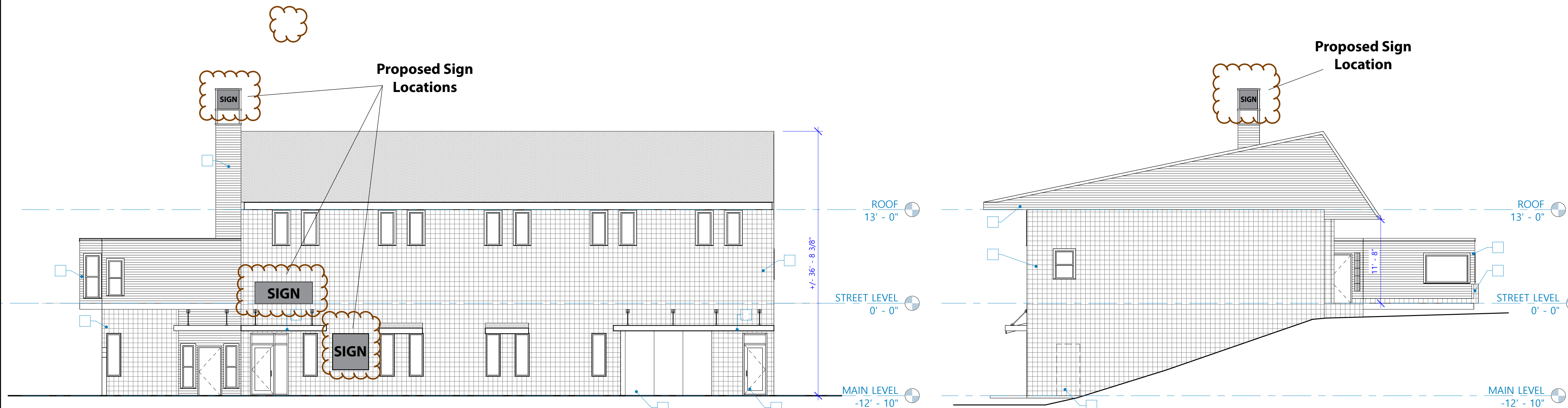
A4.1



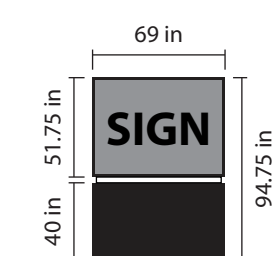
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FARRELL
DESIGN
GROUP**

ALL SIGNS TO BE SUBMITTED SEPARATELY PER VILLAGE ORDINANCE

MATERIAL LEGEND	
TAG	DESCRIPTION
	PAINT EXISTING CMU, SHERWIN WILLIAMS BEDROCK, REPAIR IF NECESSARY.
	INFILL OPENING TO MATCH EXISTING CMU.
	PAINT EXISTING SIDING, SHERWIN WILLIAMS BEDROCK, REPAIR IF NECESSARY.
	PROPOSED ADA COMPLIANT STOREFRONT DOOR W/ BLACK FRAME
	PROPOSED SIGN PER LOCAL ORDINANCE
	PROPOSED GLASS GARAGE DOORS W/ BLACK FRAME
	INFILL EXISTING OPENING W/ FIBER CEMENT PANELS, PAINT TO BE SHERWIN WILLIAMS IRON ORE.
	IMPERIAL MARQUEE AWNING W/ SUPPORTS & DOWNSPOUTS - BLACK OR APPROVED SIM.

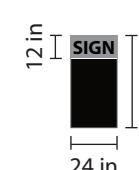


Freestanding Sign



- Double-sided illuminated sign cabinet, 12" depth
- Saddle mount for 4" sch 40 pole
- Polycarb face, blackout black vinyl graphics
- 69" x 40" aluminum skirt, 3" reveal band
- 48 square feet
- Estimated 24" x 48" footer, final size pending engineering
- 4" sch 40 pole, direct bury

Directional Sign



- Double-Sided directional cabinet
- ACM faces and sides, 3" depth
- Aluminum tube frame
- Face is 24" x 12", 2 sq ft

LEGEND	
	NEW CONSTRUCTION
	EXISTING TO REMAIN

FOR SITE PLAN APPROVAL

C3 MI - Pinckney
1066 M-36
Pinckney, MI 48169

04.20.2026
04.24.2026

SITE PLAN APPROVAL
REV. 1

Designer
Author
Project Number

SIGN ELEVATIONS

A4.2

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DAMIAN FARRELL DESIGN GROUP

359 METTY DRIVE, SUITE 4A
ANN ARBOR, MI 48103
tel: 734.998.1331

FOR SITE PLAN APPROVAL

C3 MI - Pinckney
1066 M-36
Pinckney, MI 48169

DATE	DESCRIPTION
04.20.2026	SITE PLAN APPROVAL

DESIGN	Designer
DRAWN	Author
PROJECT NO.	Project Number

SECURITY PLANS

SEC.1

